

TUSTIN...



Proud of its Heritage, Preparing for its Future...

AUGUST 2015

USER GUIDE FOR THE INSTALLATION OF FENCES, HEDGES AND WALLS

PURPOSE

This user guide clarifies the City of Tustin's requirements regarding construction or installation of fences and walls, and maintenance of hedges. The guide is also designed to help you anticipate any procedures you may have to follow when you decide to build or install a fence, hedge or wall.

DEFINITIONS

FENCE - Means any structural device forming a physical barrier by means of hedge, wood, mesh, metal, chain, brick, stake, plastic or other similar materials.

FRONT YARD – Means a yard extending across the full width of a lot, the depth of which is measured from the front lot line of the lot to the nearest line of the building.

HEDGE – Means a physical barrier formed by a row of shrubs or low trees planted close together.

OPEN FENCES – Means a wood or metal barrier which is more than 50% open.

REAR YARD – Means a yard extending across the full width of the lot and measured between the rear line of the lot and the nearest line of the main building.

SIDE YARD – Means a yard between the side line of the lot and the nearest line of the building and extending from the front yard to the rear yard.

VARIANCE – A special permit which grants a property owner relief from provisions of the Zoning Ordinance when specific findings can be made and justified.

WALLS – Are defined as solid stucco, masonry, rock or concrete barriers.

YARD – Is an unoccupied open space unobstructed from the ground upward within which structures must not be located except as permitted in the City's Zoning District.

ZONING DISTRICTS – A specific geographical area of a city zoned with uniform regulations and requirements.

HEIGHT REQUIREMENTS

Fence, hedges and walls must not exceed six feet eight inches (6'-8") in height, unless specifically permitted in a special zoning district, by Variance or Conditional Use Permit, or unless a wall or fence is required for sound attenuation per City and State policy for mitigating unacceptable noise levels or as required by other City or State law.

SETBACK REQUIREMENTS

No fence, hedge or wall over three feet in height may be erected in a required front yard setback, unless specifically permitted by Variance, or in a Special Zoning District.

Any fences, solid hedges or walls located in any required rear or side yard abutting the intersection of a street, alley or driveway shall be subject to the Intersection Site Distance requirements as determined by the Public Works Department site distance standards.

BUILDING PERMIT REQUIREMENTS

A building permit and zoning yard setback verification is required to construct a fence or wall over three feet in height, above finished grade.

Building permits are required to construct any fences over three feet in height, and retaining walls two feet and over in height, above finished grade.

Building permit and zoning verification are required for any maintenance or repair which replaces or establishes new footings and/or joints for walls and fences over six feet in height. Walls proposed over six feet tall may require engineering details to be provided and approved prior to the issuance of a permit.

All permits are usually issued over the counter without need to come back to the City to pick up approved plans.

CONSTRUCTION REQUIREMENTS

1. Approved plans and a permit issued by the Building Division.
2. A City Building Inspector must inspect and final the construction.

SUBMITTAL REQUIREMENTS

1. A permit application with required fees.
2. If you are in an area with a Homeowner's Association, you should obtain their approval of the design and plans before you apply for a building permit.
3. Two copies of a plot plan with the following information provided:
 - Name of property owner: Street address and Assessors Parcel Number of property involved.
 - Lot dimensions and boundary lines of the property: The location and yard setbacks dimensioned of proposed walls and fences, including note the height, color and materials proposed for construction.
 - Foundation and wall or fence design specifications, as required by the Building Official, (i.e. height, footing details, reinforcement information, engineering calculations).
 - Approval/consent of the neighboring owner is required for walls proposed on a property line between two properties.

INSPECTION REQUIREMENTS

It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection. The person doing the work shall notify the Building Division that such work is ready for inspection. The following inspections are required:

1. When the footing excavation is complete and all reinforcing is in place but before any concrete is poured.
2. For masonry walls a pre-grout inspection is required when the block has been laid and the reinforcing is in place, but before any grout is poured. The block may be laid up to six feet before calling for a pre-grout inspection.
3. When the work is complete, call for a final inspection.

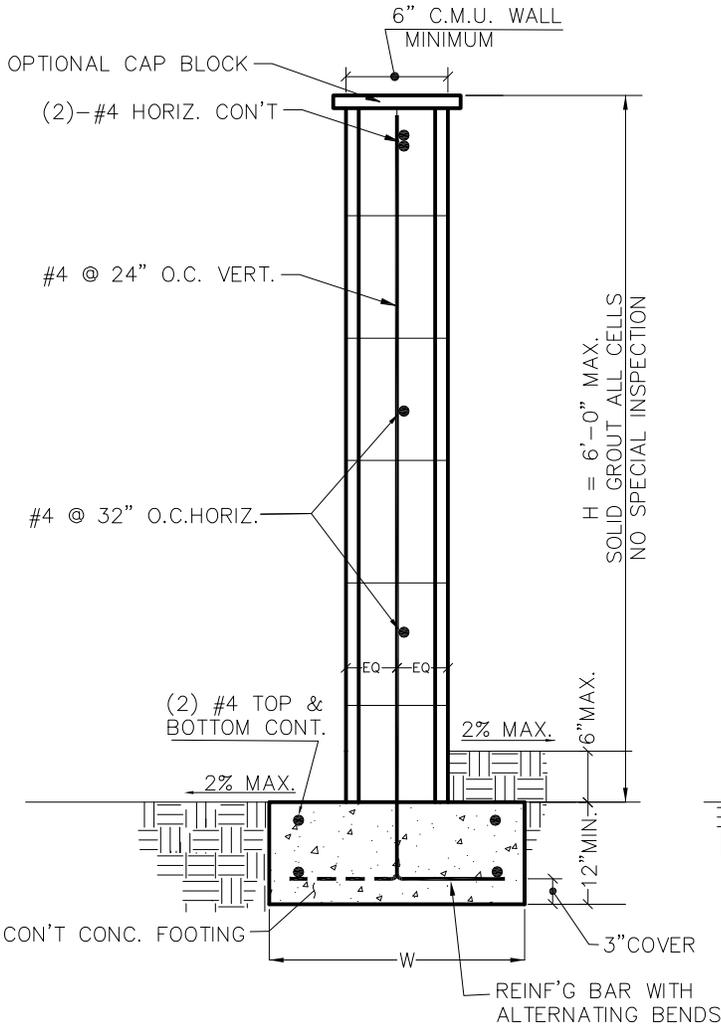
For additional information or staff assistance, we invite you to contact:

City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780
(714) 573-3131 or 573-3132

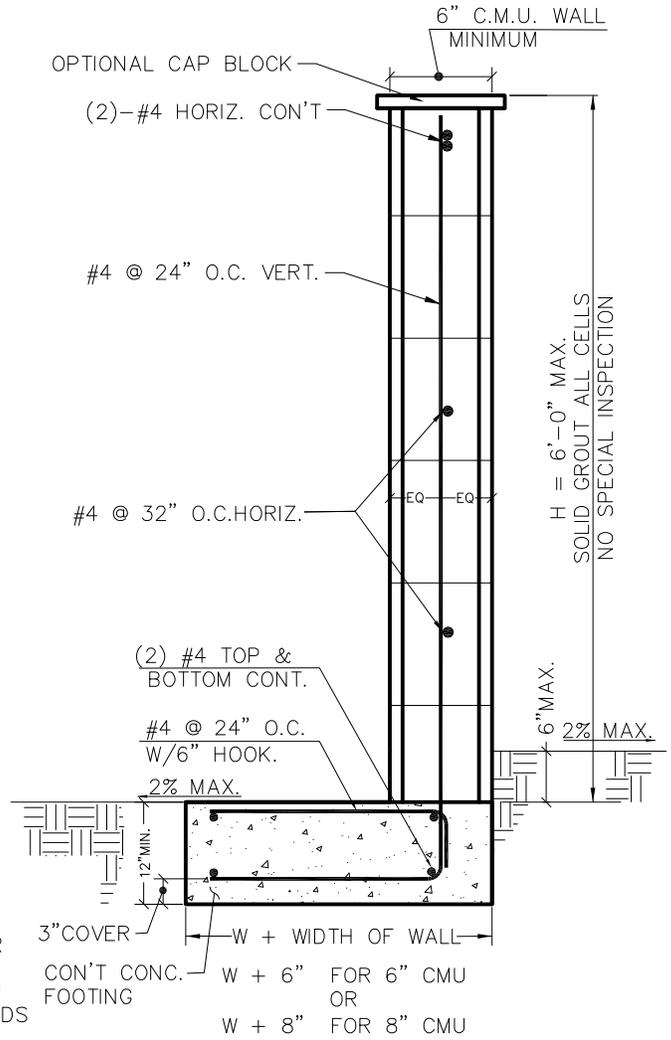
Staff is available to answer your questions during office hours between 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Fridays.

OTHER USER GUIDES AVAILABLE

Signs
Swimming Pools, Spas and Hot Tubs
Residential Room Additions
Gazebos and Patio Covers
Reroofing
Patio Slabs & Walkways
Built-in Outdoor Barbecues
Commercial Tenant Improvements

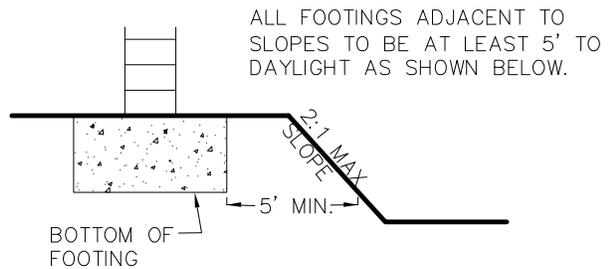


CONDITION 1



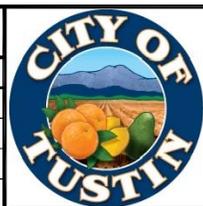
CONDITION 2

H	W
3'	1' - 6"
4'	1' - 8"
5'	2' - 0"
6'	2' - 2"



ALL FOOTINGS ADJACENT TO SLOPES TO BE AT LEAST 5' TO DAYLIGHT AS SHOWN BELOW.

REVISIONS		
DATE	DESCRIPTION	APP'D



CITY OF TUSTIN
 COMMUNITY DEVELOPMENT DEPARTMENT
6" OR 8" C.M.U. FENCE WALL
 MARCH 2016

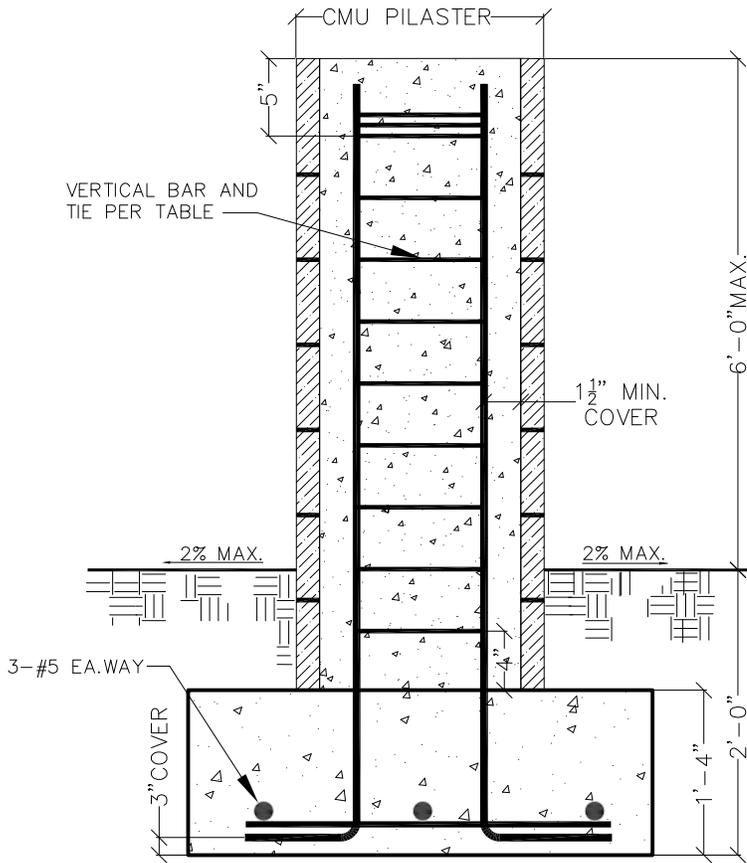
SHEET #
1 of 2

MATERIAL SPECIFICATIONS AND NOTES FOR MASONRY FENCES AND WALLS:

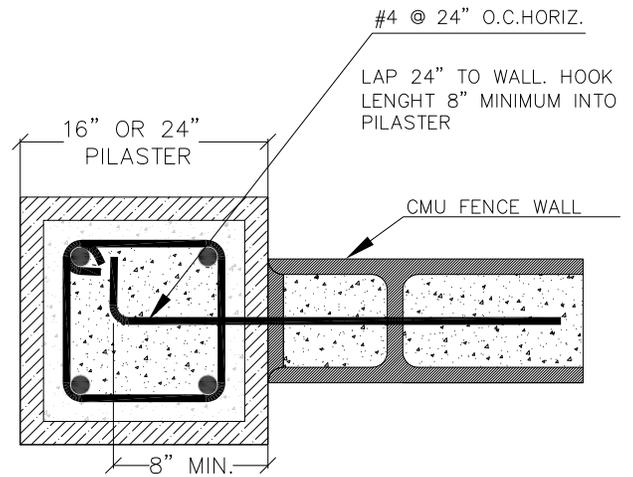
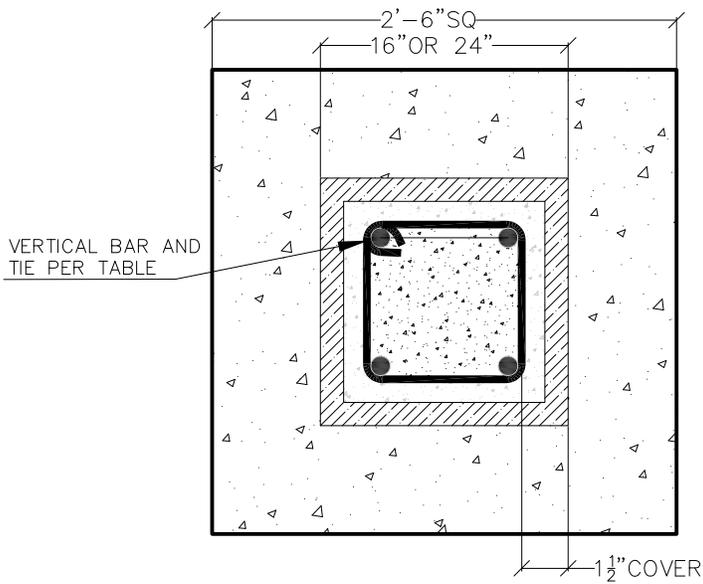
1. **Applicable Standards:** California Residential Code 2013, California Building Code 2013, California Mechanical Code 2013, California Plumbing Code 2013, California Electrical Code 2013, California Green Code 2013, California Energy Code 2013, ACI 530-11.
2. **Concrete Masonry Block:** Grade “N”, ASTM C-90, minimum compressive strength $f_m^l=1500$ psi.
3. **Grout:** ASTM C 476, minimum compressive strength of 2000 psi at 28 days. Grout shall be proportioned per CRC; table R609.1.1 in the ratio of 1 part cement, zero to 1/10 lime putty, 2 ¼ to 3 times the sum of the volume of the cementitious materials; aggregate measured in a damp, loose condition. All cells shall be fully grouted.
4. **Mortar:** type “S”, ASTM C-270, minimum compressive strength of 2000 psi. Mortar shall be freshly prepared and uniformly mixed per CRC table R607.1 in the ratio of 1 part cement, ¼ part lime putty and 2 ¼ to 3 times the sum of separate volumes of lime and cement; aggregate measured in a damp, loose condition. Initial bed joint shall be ¼” minimum and ¾” maximum. Subsequent bed joints shall be limited to 3/8.”
5. **Concrete:** type V with $f_c^l=4500$ psi for corrosive soil; if testing proves noncorrosive soil then may use type II with minimum compressive strength $f_c^l=2500$ psi at 28 days.
6. **Reinforcing steel:** minimum Grade 40 for #4 and smaller; ASTM 615. All vertical bars shall be placed in center of wall. Bar splices shall be lapped 48 times bar diameter.
7. **Footing depths:** shall be minimum 12” into undisturbed natural soils. In liquefaction zone minimum footing depth is 24” with 2-#5 at top and bottom.
8. **Inspections:** shall be called for
 - a. When footing excavation is clean; with steel in place.
 - b. When blocks are laid; just prior to grouting.
 - c. Final; when all grouting is done and cap installed.
9. **Walls that propose to vary from the City of Tustin’s Standard Wall detail require submission of calculations by a California registered Civil/Structural Engineer. Details shall be shown on grading plan. Use of standard walls does not require separate details.**

REVISIONS				CITY OF TUSTIN COMMUNITY DEVELOPMENT DEPARTMENT	SHEET # 2 of 2
DATE	DESCRIPTION	APP'D		6" OR 8" C.M.U. FENCE WALL	
			MARCH 2016		

OPTIONAL PILASTER



SIZE	VERTICAL BAR	TIE SPACING
16" X 16"	(4) - #5	#3 @ 10" O.C.
12" X 24"	(4) - #6	#3 @ 12" O.C.



N.T.S

REVISIONS

DATE	DESCRIPTION	APP'D



CITY OF TUSTIN
PUBLIC WORKS DEPARTMENT

OPTIONAL PILASTER

APPROVED BY:
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

DATE:

DWG
STD #

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