

# **City of Tustin**

## **Historic Resources Survey 2003**

### **List of Significant Sites**

































































































































































































































































































































































































































































































































































































































































































































































































































































Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- truncated gabled roof, in a "T" shape
- narrow shiplap siding used on the exterior with beaded trim boards on the corners
- trim boards cut in a bracket shape at the top
- Victorian stickwork in the gable faces
- double front-facing and side-facing gables decorated with fishscaled shingles, arch shaped barge boards, teardrops and rosettes
- rows of pierced work, in an arrow pattern, adding a strong horizontal line below the gables
- single double-hung window in the second floor and a pair of matching windows, sheltering a shed-style hood, occupying the front wing
- secondary gable, with a similar design, capping the front façade above the second story
- double-hung windows used throughout the second floor
- three-sectioned transom and sidelights surrounding the original door, accented with a large plate glass window
- porch roof supported by elaborate turned posts, ornamented with a pierced frieze and carved brackets
- railing is made of turned balusters
- matching porch on the east side leading to the entrance on that side
- original door, topped with a multi-paned glass window and accented at the bottom with ornate recessed panels, leads to the interior
- double-hung windows with ornamented lintels flank the door.
- row of casement windows on the east side of the back wing
- latticework enclosing the back porch and a matching gazebo and carport located close by
- a large re two-storied barn with shiplap siding
- specimen trees and plants

## 425 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (301) 425 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-Present

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin. As Tustin became a center of manufacturing for the World War II and post war defense effort, and other economic consequences, tract houses were being built that would dominate the housing market for decades. New subdivision ordinances in California municipalities dictated width and turning radii of streets, size of blocks and requirements for developers. The ranch and similar post World War II styles fit into these subdivision regulations as the most widely distributed architectural style in southern California.

Tract ranch style homes, such as this building, are typically small, one story buildings with a lower pitched roof. The roof is shingled and the exterior walls are finished with either stucco or rustic siding. Because of the limited dimensions of the tract houses, many of these homes were expanded in the back with additions of a family or other types of rooms.

The building's character defining features include, but are not limited to:

- side facing gables
- entry, sheltered by a side facing extension, supported by two columns with stone material
- door and a series of windows framed with wood trim and moldings
- wide board horizontal siding or shingles

B11. Additional Resource Attributes: (HP2)—Single Family Property

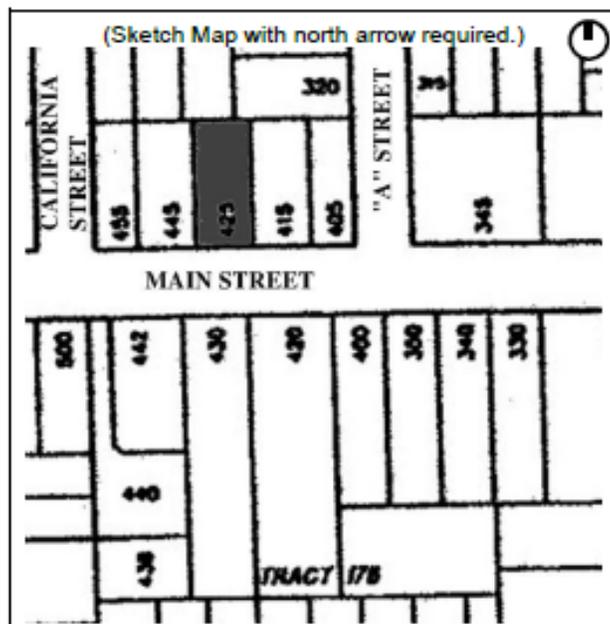
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



## 430 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 5B1

\*Resource Name or # (110) 430 Main St. W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style:

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was constructed in 1887.

Although the second story and front porch have been somewhat altered, the house still retains most of its Victorian character.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Early Ranching & Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: A,B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building is significant because of its associations with George Case, Mary Bardin, the Robinsons and the Snows, who are all important to Tustin history. George C. Case bought the property from Harriette N. Kellom in 1887, paying \$1920 for the 96' x 333' lot, and is believed to have built the house, which is constructed of solid redwood. Early pictures of the house show a wrap-around porch with a turned wood balustrade. Alonzo R. Kendall, who lived at 420 West Main, bought the property around 1890 and the two houses remained together under various owners until 1913. Mary H. Bardin, a well-known local horsewoman, owned the house from 1902 to 1920. Paul and Martha Snow owned the house from 1945 until the 1990s.

(con't.)

B11. Additional Resource Attributes: (HP2)—Single Family Property

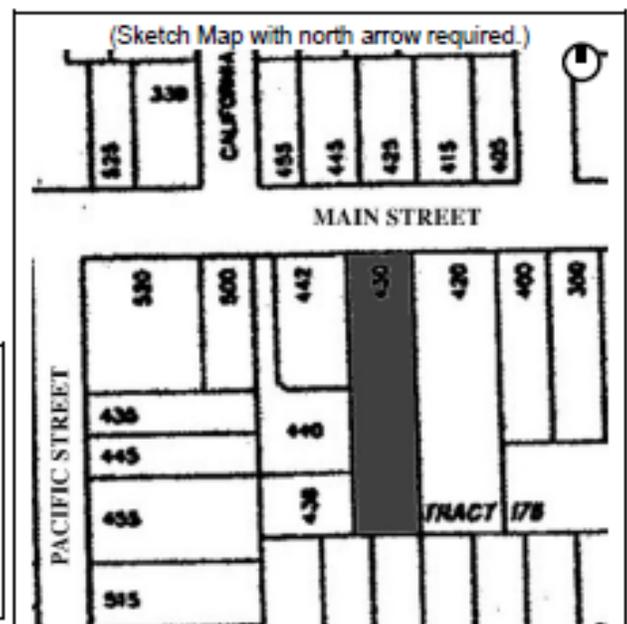
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June 1990; Jordan, Carol H, *Tustin: A City of Trees*, Heritage Media Corp., 1996; First American Title Company records; Interview with Martha Snow, 1989.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (110) 430 Main St W

Recorded by: TBA West, C. Jordan

Date: November 2002

Continuation

Update

The building's character defining features include, but are not limited to:

- Victorian character
- an elongated hip roof, with enclosed eaves and an offset brick chimney near its center, crowning the second floor
- a single-story wrap-around porch running across the front of the house and down the west side
- double hung windows, in pairs and singles, lining the second floor
- a large plate glass window on the east side is topped with a diamond-paned transom
- a high stationery horizontal window, bordered with cutwork along the bottom, located on the west side of the front door
- a door, appearing to be original, centered with a plate glass window in the top and ornamented with recessed panels, molding, and rosettes
- a porch roof supported by wooden posts and a railing with new balusters connecting the posts
- a pair of 6-over-6 double-hung windows and a pair of plain double-hung windows used on the east side
- a large second floor balcony located in the back, above a single-story wing
- vertical carsing covering the foundation

## 445 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (303) 445 Main Street W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin. These tract ranch style buildings are typically small with a lower pitched roof. The building also illustrates the limited dimensions of the tract houses. Many of these homes were expanded in the back with additions of a family or other types of rooms.

The building's character defining features include, but are not limited to:

- rambling and horizontal form
- automobile oriented
- asymmetrical shape with low pitched roof
- moderate eave overhang
- decorative railing and other modern details
- front facing gable and a hipped roof wing

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

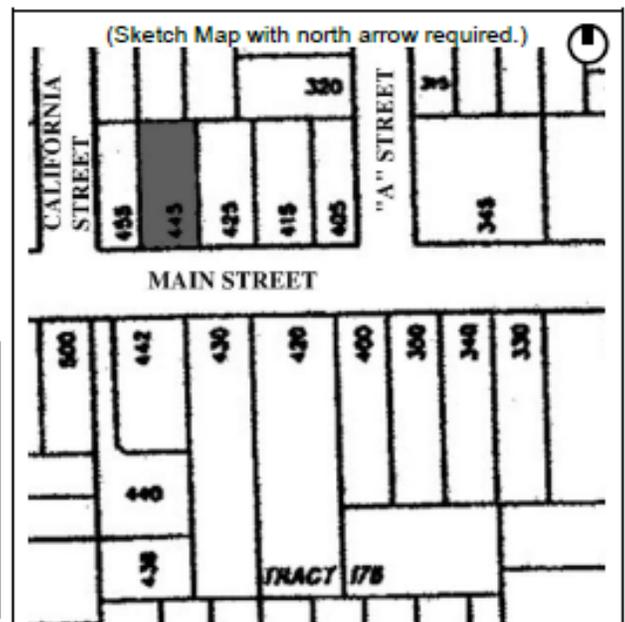
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 455 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (111) 455 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

C. E. Utt had this house built for his mother, Mrs. Lysander Utt, as an annex to his own home at El Camino Real and Main Street in 1904.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: El Camino Real and Main Street

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The house's Colonial Revival style and association with the Utt family are significant to Tustin.

Utt's contributions to Tustin are listed elsewhere. The house illustrates the custom of providing for elderly parents. The house was moved to this site in 1920. Minnie Childs owned it 1920 to 1943. She was an artist of note, active in civic and social affairs, and was a charter member of the Laguna Beach Art Association.

The building's character defining features include, but are not limited to:

- a hipped roof edged in carved brackets
- pedimented gable extending forward to form the roof of the front porch
- wood shingles and a small diamond-paned window, flanked with louvered vents, covering the gable face front porch, supported by round wooden columns, resting on solid clapboard-clad rails. A pair of matching double-hung windows, with molding-trimmed lintels, to the east of the front door
- front door accented with a horizontal window at eye level, and recessed wood panels
- double-hung windows throughout the exterior
- single gable-roofed garage is located at the rear of the property

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: City of Tustin Historical Survey, Thirtieth Street Architects, Inc., June 1990. First American Title Company records. Directories. Interviews with Ruth Cox, 4/4/73 and 5/73. *Santa Ana Evening Blade*, January 28, 1904, Pleasants, Mrs. J. E., *History of Orange County*, J. R. Finnell & Sons, Los Angeles, 1931

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 520 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (112) 520 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tudor

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The English Tudor house was originally owned by surveyor Roy C. Browning and constructed by local builder William Bowman in 1930.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: William Bowman

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant because of its architecture and association with early Tustin residents. Built during the country's Depression when revival style residences were fashionable among southern California's wealthy landowners, the building represents the prevalent architectural preferences of Tustin's more affluent residents.

The two storied building, clad in stucco, is significant because of its architectural integrity and is one of the finest examples of Tudor Revival architecture in Orange County. Significance is added for its association with William Bowman and Roy Browning.

There are several specimen trees and plantings in the lot.

B11. Additional Resource Attributes: (HP2)—Single Family Property

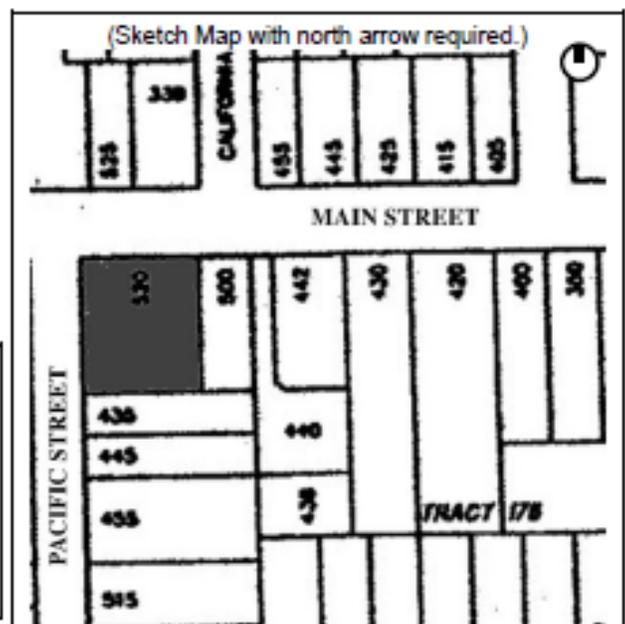
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (112) 520 Main St W

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- stucco cladding
- combination of hipped and gabled roof design
- front facing gable, clad in shiplap siding, centered with a louvered vent
- Byzantine arch and red brick trim framing an ornamented front door with recessed wood panels
- multi paned casement windows, with matching transom, flanking the door
- windows are recessed multi paned metal framed casement windows
- small 1940's styled cantilevered bay on the west side
- large multi paned leaded glass, bordered by stain glass and topped with a Byzantine arch, located on the first floor's front façade
- half timbered cantilever second floor accented with heavy brackets across the bottom
- large stucco clad chimney, typical of English Tudor revival design, detailed with a herringbone inset in the center
- stucco clad triple garage centered with original paneled wood doors with carsiding, accented and two rows of medallions
- several specimen trees and plantings in the lot

## 525 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

NRHP Status Code: 5S1

Resource Name or # (113) 525 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This home was constructed in 1915.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: A,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is important as an early example of California Bungalow architecture in Tustin that was in fashion during that time. Several members of the Tustin community, including retired farmer, Charles Greenwood and his wife, Belle, used the home. The First Advent Christian Church acquired title in 1962.

The building's character defining features include, but are not limited to:

- narrow clapboard siding has a double gabled roof with a wide front facing porch gable
- roof line with varied width vertical venting and single exposed beam ends
- a brick chimney located on the front section of the west side, flanked with double hung windows
- pairs of double hung windows flank both sides of a new door
- a recessed porch is located on the west side, between the side facing double gables
- square wood columns, trimmed in molding and resting on square brick piers, supporting the porch roof
- matching piers on each side of the centered entrance made of brick in shades of tan, red and gold with concrete caps
- a railing of wide and narrow balusters runs between the piers

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 545 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (305) 545 Main Street W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: modified Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was probably built in the mid-1900s. Alterations have since occurred.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture, Post WWII Boom

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1960

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The existing oak tree and the previous use of the house as the parsonage for the Advent Church are significant. Although this building may be significant as an example of Colonial Revival architecture in Tustin, it has been substantially altered and its integrity is questionable.

The building's character defining features include, but are not limited to:

- front facing gable and side gable wing
- front gable with two matching sets of windows recessed from the front façade
- vent located on the top point of the front façade
- two dormers situated on the wing roof
- entry is perpendicular to the street
- wood shingles
- chimney on the left side of the building

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

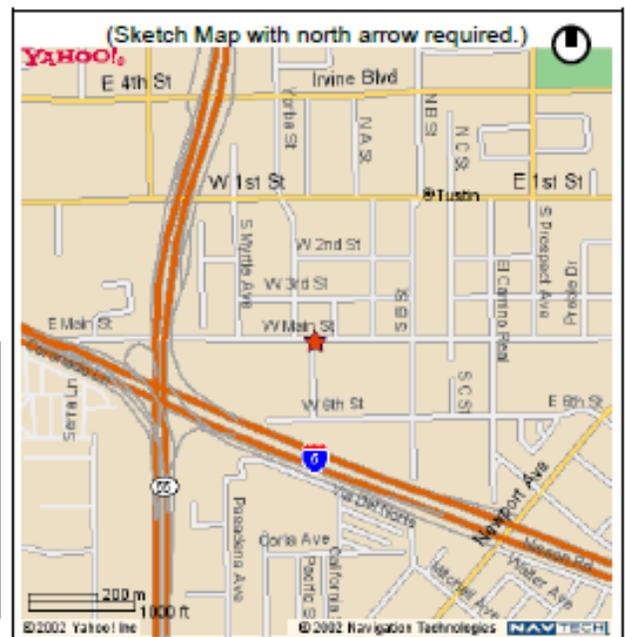
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 555 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (114) 555 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Institutional/Religion

B4. Present Use: Institutional/Religion

\*B5. Architectural Style: Victorian-Gothic

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Organized in 1880 in the home of Caroline Downs with Virgil Hunt as the first pastor, the Church constructed the edifice the next year in 1881.

The foyer and the steeple were added in the early 1930s. The classroom and meeting building were constructed in 1935, while flagstones were added around the foundation in the 1950s.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Institutional/Religion, Early Ranching & Agriculture, Religious Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: A,B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This church is significant for its architecture, association with broad patterns of Tustin history, and association with persons prominent in the City's history. It is also associated with the broad patterns of Tustin's development.

The First Advent Church is the oldest continuously active Protestant church in Orange County occupied by its original denomination. As a note of interest, two of the original pews, which were shipped around the Horn in the 1880s, remain in use today. Early members of the church included pioneer families such as Utt, Warner, McFadden, Tustin, Shatto, Downs, Squires, Hanson, and Bosman.

The Church is also an Orange County Point of Historical Interest.

B11. Additional Resource Attributes: (HP16)--Religious

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (114) 555 Main St W

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- as a basic style built by Orange County pioneers, a steeply pitched front facing gabled roof, crowned with an octagonal tower and matching steeple, topping the building and featuring enclosed eaves with a narrow overhang
- bell tower, enclosed with louvered venting and blank wood panels, covered with shiplap siding on the exterior and base
- cornice of the tower trimmed with dentil work
- entrance on the east facade with a pair of wooden double doors accentuated with large rectangular panels of wood on each side
- large arch topped stained glass window is centered in the front façade
- a row of stained glass windows, topped with heavy wood cornices, running down the side of the building
- a diamond paned stained glass window located near the front of the west side flanked by the same type of large wood panels and used on each side of the main entrance
- 1930s additions – foyer and the steeple added in the early 1930's and classroom and meeting buildings constructed in 1935
- two original pews shipped around the Horn in the 1880s and remaining in use today

## 630 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 3S

\*Resource Name or # (115) 630 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Italianate

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Caroline Downs, instrumental in organizing the First Advent Christian Church, had this house built in 1888.

The brick steps and wrought iron railing are not original.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant because it is one of a handful of Italianate homes remaining in Orange County. It is illustrative of the homes built by early pioneers between 1870 and 1885. Further significance is added due to its association with several prominent residents.

Mrs. Caroline Downs lived here briefly with her four children, who were also active in the First Advent Christian Church. Other owners included David Cobau, and Edwin M Haven, owner of the Haven Seed Company. William and Grace Leinberger bought the house in 1920 and lived there into the 1970s. Mr. Leinberger was a cashier for the First National Bank of Tustin and a volunteer fireman.

The property is on a deep lot with mature trees and plantings.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 665 W MAIN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (116) 665 Main Street (W)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Italianate

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building was constructed in 1883. Charles Elles moved the house from property across the street to property that had been in his mother's family since 1905 and this saved the home from demolition when the Santa Ana and Costa Mesa freeways were built.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: south side of Main Street

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Early Ranching & Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: A,B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as a rare example of Italianate architecture and its association with early Tustin residents. The building represents Tustin's Victorian heritage and agricultural business success during the land boom of the 1880s. It also retains almost all of its architectural integrity and all of its fine details. In addition, the building is associated with banker Nelson Vanderlip, and Horatio Allen, a prominent local rancher. Built for Nelson Vanderlip, the building was originally situated on a 20-acre parcel on the south side of Main Street across from its present location. In 1902, the property was acquired by Horatio Augustus Allen who owned orange groves on the West side of Glen Avenue at Main. After Horatio Allen died, the house went to his son Lucius, who sold the house to Charles Elles in 1961. Although moved from an agricultural setting to an urban setting, the building retains its overall significance.

B11. Additional Resource Attributes: (HP2)—Single Family Property

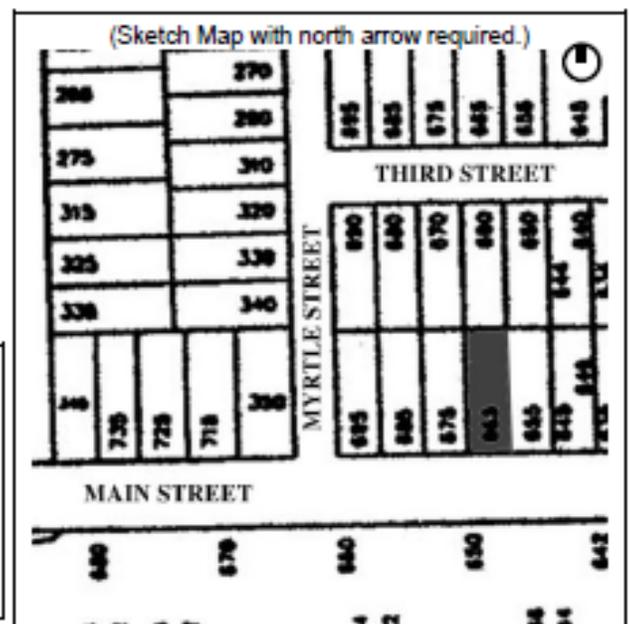
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (116) 665 Main St W

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- truncated hipped roof, with front facing gable on the west and east sides, topping the building
- enclosed eaves and a plain frieze running just below the roof line
- matching front-facing gabled dormer, centered with an arched double hung window, extending from the front facade of the roof
- pedimented cornice accents the pair of arched double hung windows centered below the front facing gable. double hung windows
- arch with wide molding trimmed cornices
- shed style roofed square bay with carved brackets and a frieze of border arches and a trio of matching windows located in the center section of the building
- original pairs of double screen doors accented by a molding trimmed edge and diagonal molding trimmed corners of these screens indicative of early 1880's architectural detailing
- large single paned arched transom located above
- three pillars and two pilasters, accented with molding trimmed capitals and bases, support the porch
- two pairs of double hung windows, one on the first floor and another on the second, located below the gable in the east facade
- shiplap sided garage, located on the east side, designed to match the house several years later with side facing gabled roof has a front facing gable on the west end with a pair of arched double hung windows placed below the gable face
- pair of shiplap clad garage doors sit side by side in the eastern half of the front facade
- several specimen trees surrounding the building

## 695 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (311) 695 Main Street W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: modified Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built prior to 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of Craftsman Bungalow architecture in Tustin. It is also significant because of its association with early Tustin residents, such as the Prebble family.

The building's character defining features include, but are not limited to:

- front facing hip on gable roof
- exposed rafters and open eaves
- original piece of the vertical corner board
- horizontal siding and windows framed with trim and moldings

B11. Additional Resource Attributes: (HP2)—Single Family Property

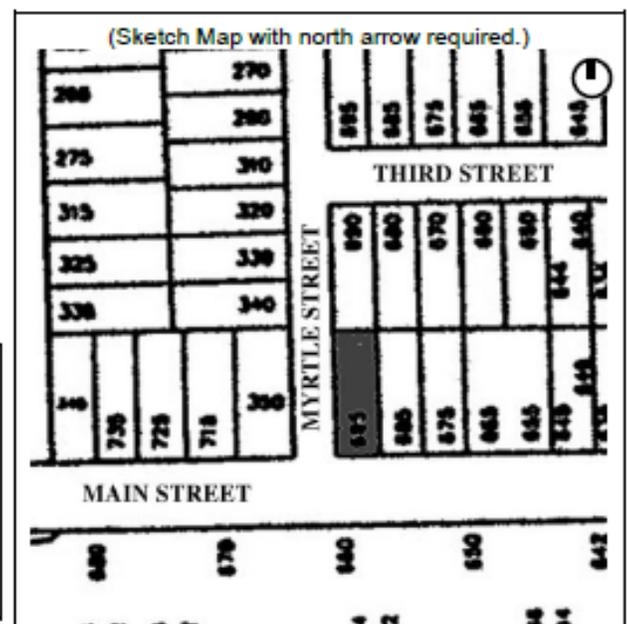
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 705 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (312) 705 Main Street W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was most likely constructed in the 1920s.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as a later version of the Spanish Colonial Revival style, popularized in Tustin between 1910 to 1925.

Character defining features include, but are not limited to:

- asymmetrical façade
- flat roofs and no overhang
- red tile roof
- stucco exterior surface
- large, distinctive, windows on the front
- small parapet capping along the front façade
- arched openings that define the porch
- decorative tile vents are situated on the front and side facades

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

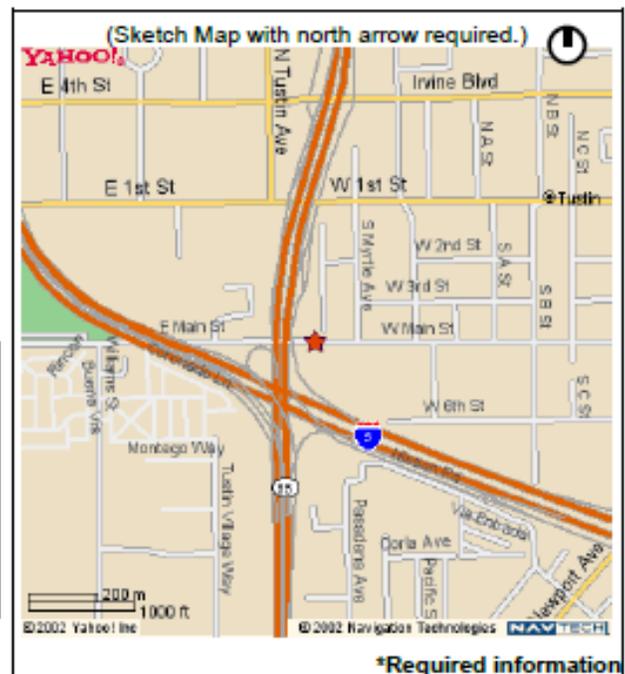
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 735 MAIN STREET (W)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (315) 735 Main Street W

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The original building was built around 1928. However, it has been substantially altered with the construction of a new porch and a shed style roof.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this building was originally built in Spanish Colonial Revival style, popularized in Tustin between 1910 to 1925, alterations have compromised its integrity.

The building's character defining features include, but are not limited to:

- flat roof and parapet topped with tile
- stucco on exterior surface
- two sets of three ribbon windows symmetrically placed with the entry door in the center

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

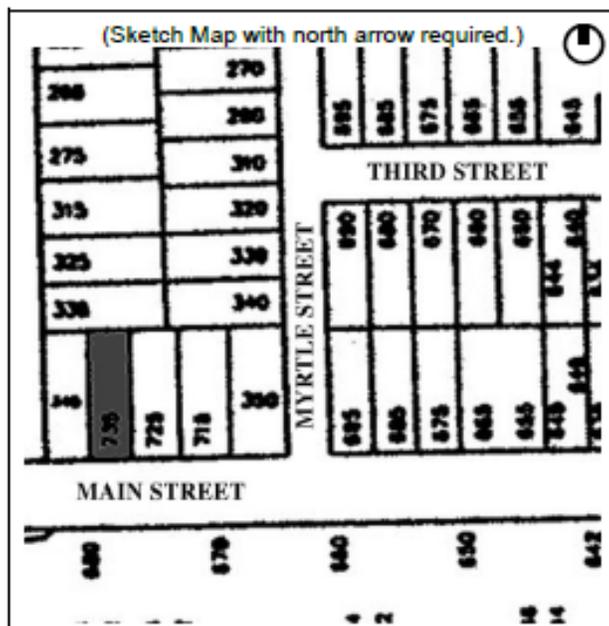
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 1681 MITCHELL AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 2

\*NRHP Status Code: 5S3

\*Resource Name or # (117) 1681 Mitchell Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

William H. Bowman and his wife, Ruth purchased the original 5-acre plot on which this house is located, in 1913. The Craftsman Bungalow house was built a few years later in 1919. The garage and corrugated metal barn were presumably added later, and the home has a 1930's brick fireplace. Parts of the foundation and porch are now clad in brick. The porch has been enclosed.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Early Ranching & Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Originally situated in the center of an orange grove, this home is significant as an example of the Craftsman Bungalow style and for its association with the Bowman family. It is also the last remaining Craftsman-era grove house in Tustin.

The Bowmans came to Orange County in 1881. William Bowman started as a carpenter and became Tustin's most prolific building contractor during 1910-1930. His wife was his business partner and bookkeeper. In addition to his construction work, Mr. Bowman also owned extensive citrus groves. William H. Bowman's father, William D. Bowman, was a pioneer citrus grower. (con't.)

B11. Additional Resource Attributes: (HP2)—Single Family Property

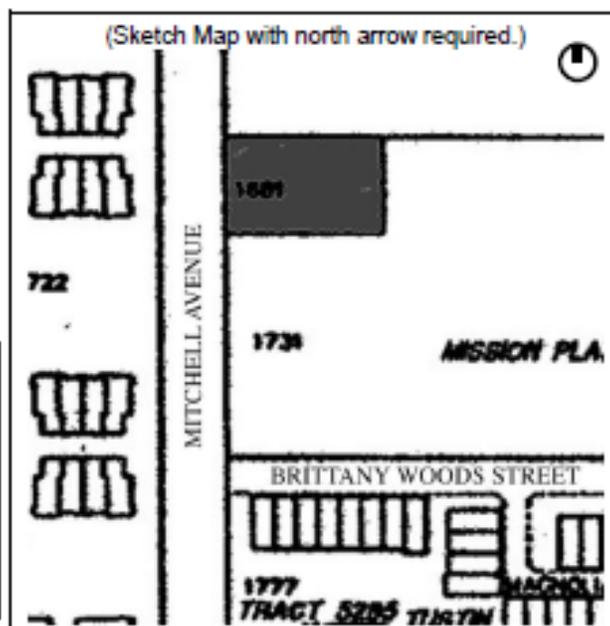
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (117) 1681 Mitchell Ave

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

This building's character defining features include, but are not limited to:

- roofline with horizontal louvered venting at the peaks, triangular braces, and exposed rafter tails
- ribbon of three double hung windows centered in the front facade of the second story
- three double hung windows facing the front in the south wing and a ribbon of four smaller windows and located in the northern most wing
- porch with enclosed with large multi-paned windows, centered with a pair of multi-paned french doors
- pair of plate glass windows on the south façade flanking a 1930s gold and tan brick fireplace
- double hung windows throughout the exterior.
- matching garage

# 125 MOUNTAIN VIEW DRIVE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (118) 125 Mountain View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building was constructed in 1925.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single story house is significant as an example of Craftsman style architecture in Tustin. It is also important because of its association with early Tustin residents. D.M. Fomey and his wife, Ida, owned all of the lots on the East side of Mountain View when the tract was opened in 1923. The subdivision was called Mountain View Gardens. This lot was purchased by Cyrus and Elizabeth Newman in 1924. The Newmans were ranchers who also owned property on First Street, but built this home as their "town home". Mr. Newman was a carpenter in 1925, but later worked at a citrus packing house. Subsequent owners include Ernest Watson, investment and real estate businessman, and his wife, Gladys, in 1929.

The building's character defining features include, but are not limited to:

- three matching front facing gabled roofs with variegated vertical lath ventwork
- single exposed beam ends and exposed rather tails
- narrow clapboard that covers the exterior
- tapered brick columns, resting on larger square brick piers, which support the porch
- matching gable which is located in the center of the south facade
- single matching garage, topped with a gabled roof, located in the rear

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 128 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (317) 128 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built around 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the proliferation of Colonial Revival style that was popularized in Tustin between 1910-1925. It retains much of its original character. The style includes the typical use of stucco walls, clay tile roofing, small parapet capping along the front façade. Windows are multi paned and found throughout the exterior.

The building's character defining features include, but are not limited to:

- parapet front facade topped with tile
- flat roof with shed roofs over the front facade ribbon windows and separate doorway entry
- multi paned windows throughout the exterior
- stucco cladding

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



## 130 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (318) 130 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built around 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1875-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of the proliferation and variety of the Spanish Colonial Revival style, popularized in Tustin between 1910 to 1925. The style includes the typical use of stucco walls, clay tile roofing, and small parapet capping along the front façade. This building also has an arched doorway and covered porch defined by a connecting lower wall.

This building's character defining features include, but are not limited to:

- capped parapet in front of the flat roof
- tiled shed roof which covers the porch
- low partition that connects the arched entry
- stucco on exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 135 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (319) 135 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch style

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway and Commuter Development

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-present Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin.

The building is an example of a post World War II residential prototype that would dominate Orange County's landscape for several decades. As Tustin became a center of manufacturing for the World War II and post war defense effort and other economic consequences, tract houses were being built that would dominate the housing market for decades. New subdivision ordinances in California municipalities dictated width and turning radii of streets, size of blocks and requirements for developers.

The ranch and similar post World War II styles fit into these subdivision regulations as the most widely distributed architectural style in southern California.

This building's character defining features include, but are not limited to:

- front facing gable and hipped gable wing

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

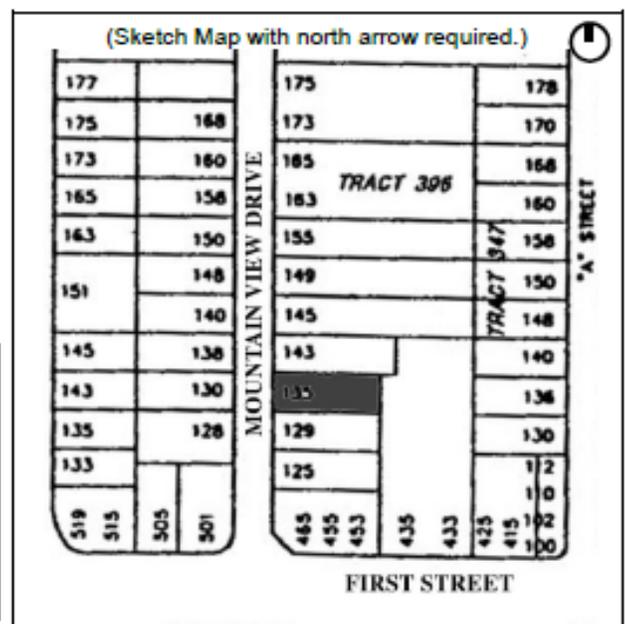
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 138 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (320) 138 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was most likely built around 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Agricultural, Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1875-1960

Property Type: Residential

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied Spanish Colonial Revival building, with front facing gable and side facing wing, has arched openings and a matching pair of windows symmetrically placed with decorative ornaments above. The front façade also has extended partitions, curved in form to the right and lower partition that defines an outdoor area.

This building's style was popularized in Tustin between 1910 to 1925. The style includes the typical use of stucco walls, clay tile roofing, small parapet capping along the front façade.

This building's character defining features include, but are not limited to:

- front facing gable and side facing wing
- façade with arched openings and a matching pair of windows symmetrically placed with decorative ornament above; the front facade with extended partitions, curved in form to the right and a lower partition defining an outdoor area
- windows on the front facing wing with ornamental decorations above
- chimney located on the left side of the building
- stucco on exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 145 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 553

\*Resource Name or # (323) 145 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1920.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied, low-pitched building has a cross-gabled configuration with open eaves and exposed rafters. Framed windows and doors are symmetrically placed on the front facade. The porch entry is covered by the front facing gable and supported by and exposed beam and columns. The cladding is horizontal siding. Like other California Bungalow buildings in Tustin, this building is a simplified version of other more ornate Bungalow styles. The building was constructed at a time when developers needed a more reasonable priced house to meet the rapid demands in southern California.

This building's character defining features include, but are not limited to:

- cross gabled configuration with open eaves and exposed rafters
- framed windows and doors symmetrically placed on the front facade
- porch entry covered by the front facing gable and supported by an exposed beam and columns
- horizontal siding

B11. Additional Resource Attributes: (HP2)—Single Family Property

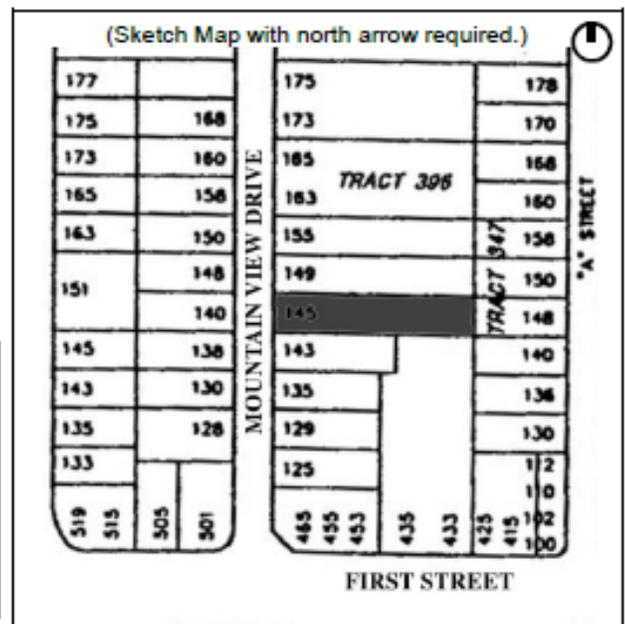
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 148 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (324) 148 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building is significant as an example of the Spanish Colonial Revival style, popular throughout the southern California region, including Tustin.

This building's character defining features include, but are not limited to:

- both tiled hip front facing facade and a flat roof wing with a parapet topped with tiles
- arched entry sheltered with a shed tiled roof extending from the parapet wall
- right front facing wall which tapers to the base
- double matching windows and triple ribbon windows with circular ornaments above located on the front facade

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 150 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (326) 150 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the Spanish Colonial Revival style, popular throughout the southern California region, including Tustin.

Character defining features include, but are not limited to:

- one story building with stucco siding
- flat roof with tile parapet cap
- low-pitched gable roof w/ no overhang
- larger focal windows on front façade
- arched porch opening
- wing wall at one corner
- open porch

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 155 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (327) 155 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: modified California Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1915. The porch entry has been removed and replaced with new decorative metal columns.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although an early example of California Bungalow, with its original wood framed windows, doorframe, venting and siding, alterations – such as the removal and replacement of the porch entry with new decorative metal columns - have compromised the building's integrity.

The building's character defining features include, but are not limited to:

- front facing gables with open eaves and exposed rafters
- doors and windows framed with wood trim and moldings
- narrow, horizontal siding on the exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 158 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (328) 158 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: modified California Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1920.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this building, an early example of California Bungalow, has its original symmetrical entry, brackets, columns and other wood details, modifications and additions have compromised the building's integrity.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 173 MOUNTAIN VIEW DRIVE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (331) 173 Mt. View Drive

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival - Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built around 1922.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of the transition from Colonial Revival to the Craftsman Bungalow styles. This building also represents the smaller and more inexpensive homes being built during Tustin's growth. Exterior walls with horizontal siding, double hung windows framed with wood moldings and trim, and a symmetrically placed gable entry with a triangular pediment above the framed bay window, are all characteristic features of this building.

This building's character defining features include, but are not limited to:

- hip on gable roof
- exterior walls which have horizontal siding
- double hung windows framed with wood moldings and trim
- symmetrically placed gable entry with a triangular pediment above framed bay windows

B11. Additional Resource Attributes: (HP2)—Single Family Property

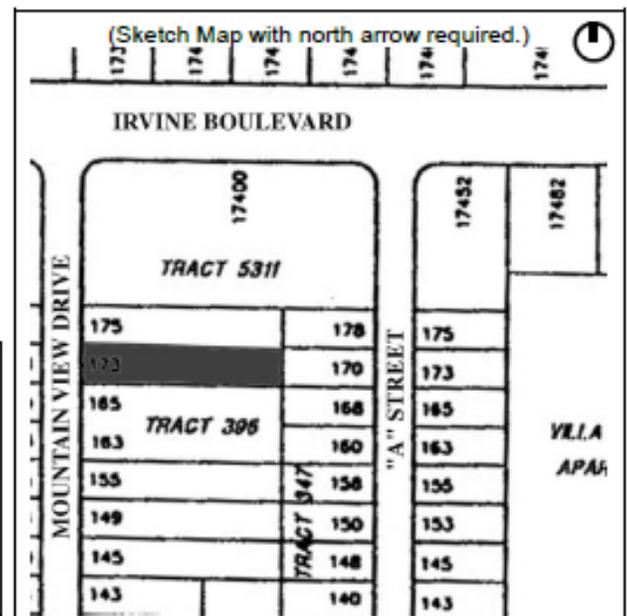
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 140 MYRTLE AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (119) 140 Myrtle Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This Spanish Colonial Revival is one of about six of the exact same plan that was constructed in 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant due to its contribution to Tustin's historic streetscape and for its associations with the Harbours and the Logans. Consistent with the Spanish Colonial Revival vernacular prototype, this single storied stucco clad building consists of red clay tile edges around the parapet.

J.R. Harour, owner of the Tustin Drug Store, owned this home from 1925-1934. He sold the house to Charles and Frances Logan. Charles Logan, a councilman, was on Tustin's first city council. Frances Logan was honored as a Tustin Woman of the Year.

The building's character defining features include, but are not limited to:

- stucco cladding with red clay tile edges around the parapet
- red clay tile front facing gabled roof has closed eaves and a round clay tile vent
- wing wall extending down on the north side of the gable
- open porch extending across the front of the south half of the front facade
- stucco clad chimney
- matching garage with a flat roof and clad in stucco is located in the rear

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

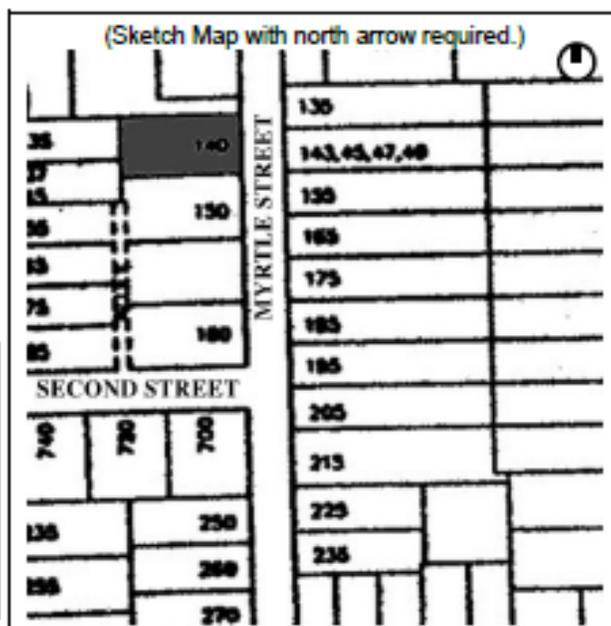
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 150 MYRTLE AVENUE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (334) 150 Myrtle

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway and Commuter Development

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin. As Tustin became a center of manufacturing for the World War II and post war defense effort and other economic consequences, tract houses were being built that would dominate the housing market for decades. Although most ranch style homes are minimal in decoration, the use of other stylized features, such as the decorative shutters on this building, were often used to imitate a previous period.

The building's character defining features include, but are not limited to:

- side facing gables, open eaves and exposed rafters
- full length porch supported by four columns
- double hung windows
- wall surface is clad with board and batten siding

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 175 MYRTLE AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (120) 175 Myrtle Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1924.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The site is significant as example of California Bungalow architecture in Tustin. It is also important because of its association with early Tustin residents.

The building's character defining features include, but are not limited to:

- double gable with single exposed beam-ends, square louvered vents, and exposed rather tails
- covered porch separating a pair of matching gables face on the north side
- three stationary single paned wood framed windows
- multi-paned front door, with matching sidelights, located on the front façade
- plate glass window, flanked by double hung windows with mullioned borders along the top, on the front of the side facing gabled wing of the main façade
- red brick chimney, with mullion bordered double hung windows on each side, on the north façade
- double hung windows throughout the exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

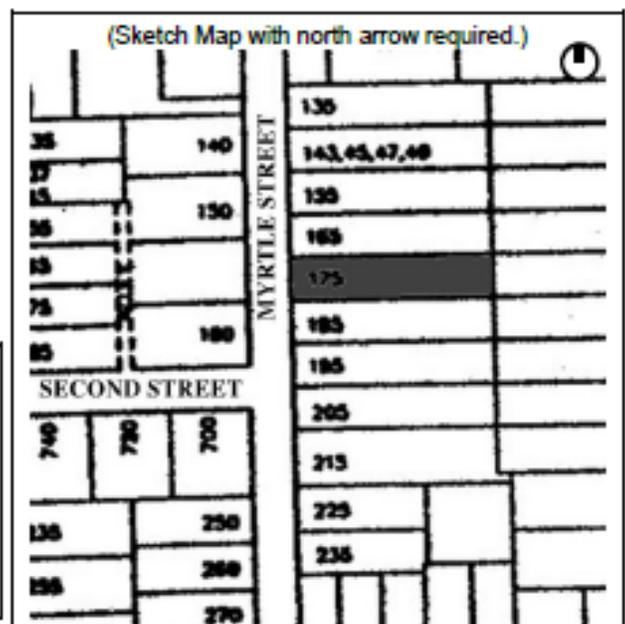
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAWest, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 180 MYRTLE AVENUE



See following pages for property information

See following pages for property information

## 185 MYRTLE AVENUE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (339) 185 Myrtle

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter Development, Suburbanization

Area: Santa Ana-Tustin, CA

Period of Significance: 1951-present

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin. As Tustin became a center of manufacturing for the World War 2 and post war defense effort and other economic consequences, tract houses such as this one were being built.

The building's character defining features include, but are not limited to:

- cross hipped roof with an extended eave above the porch entry
- decorative column supporting the entry eave
- double hung windows throughout the exterior
- brick chimney located on the right side facing façade
- horizontal siding

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(Sketch Map with north arrow required.)

Map currently unavailable

(This space reserved for official comments.)

# 215 MYRTLE AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (121) 215 Myrtle Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Dwight Hayden and his wife, Esther, constructed this single storied California Bungalow style building in 1926. Dwight was a driver for the Shell Oil Company. The couple lived in this house for sixteen years before selling the property. The home has had numerous owners.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is significant as an example of Craftsman Bungalow architecture in Tustin.

The building's character defining features include, but are not limited to:

- gabled roof with exposed beam-ends
- tapered wood columns resting on brick piers supporting the pergola located in the ell in front of the entrance
- ribbon of five single paned easement windows on the front façade
- large plate glass window with multi-paned transom facing the pergola
- double hung windows
- red chimney
- gable roofed single garage.

B11. Additional Resource Attributes: (HP2)—Single Family Property

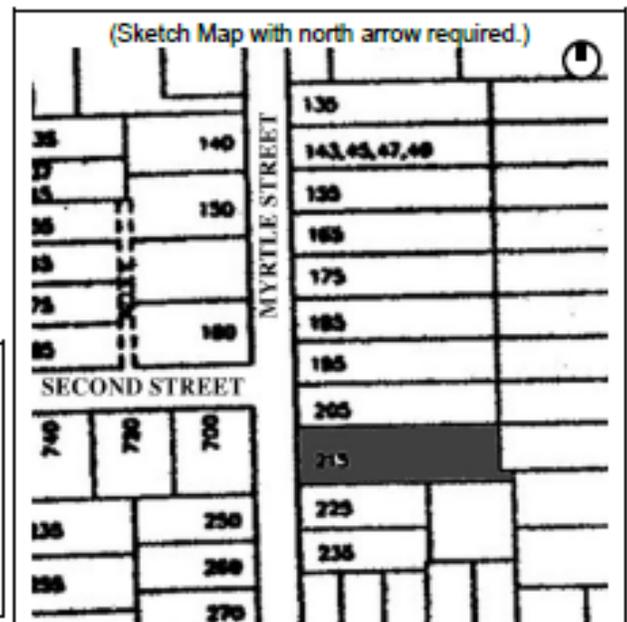
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 350 MYRTLE AVENUE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (122) 350 Myrtle Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

John Rinard, a building contractor living on Pasadena Avenue with his wife, Ermina, built this Spanish Revival duplex in 1926.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: John Rinard

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This property is significant as an example of Spanish Colonial Revival architecture in Tustin. It is also important because of its association with early residents of Tustin, John Rinard and Effie Slusser. Effie Slusser, widow of Bayard Slusser, purchased the property from John Rinard. She was an instructor at Tustin High School.

The building's character defining features include, but are not limited to:

- flat roof and unbroken parapet, edged with a row of red clay tile
- matching plate glass windows, with plain transoms and stucco hoods clad in red clay tile and supported by wood brackets, located in both the front, center and west wings
- Main Street entrance porch against the western most front facing wing
- Myrtle Street entrance in the center of the east façade
- red clay tile front facing roof with closed eaves, topping the porch and its arched openings
- pair of small, double hung windows located on the north side of the Myrtle Street entrance porch

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

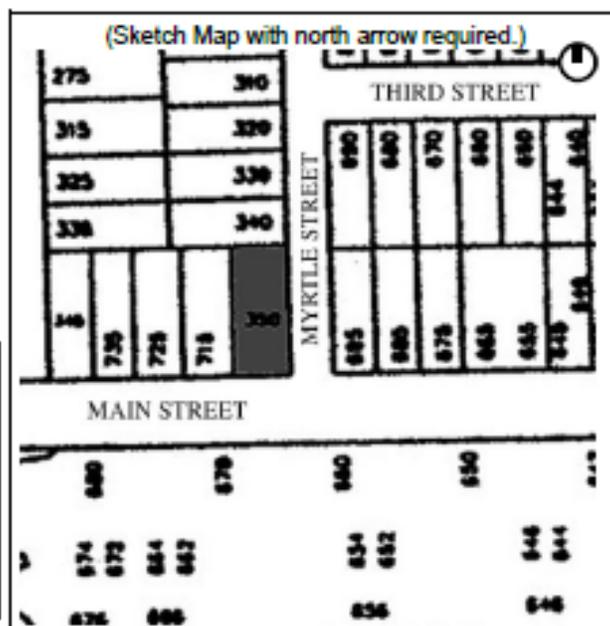
B13. Remarks:

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 140 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (123) 140 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

William Bowman, prominent Tustin building contractor, built this single storied stucco clad California Bungalow style house and the twin next door bungalow at 150 Pacific Street in 1925. The land was purchased from Alice Albee in the 1920s. The building was sold soon after construction and was used as a rental.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: William Bowman

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of California Bungalow architecture in Tustin and because of its association with early Tustin residents.

The building's character defining features include, but are not limited to:

- low pitched side facing gabled roof with an offset front facing gabled porch using 6 inch wide boards placed vertically
- single exposed beam-ends and rafter tails as part of the roofline
- stepped stucco clad piers, with square porch posts, supporting the porch
- double hung windows in pairs and singles throughout the exterior
- original Craftsman style front door is still in use

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

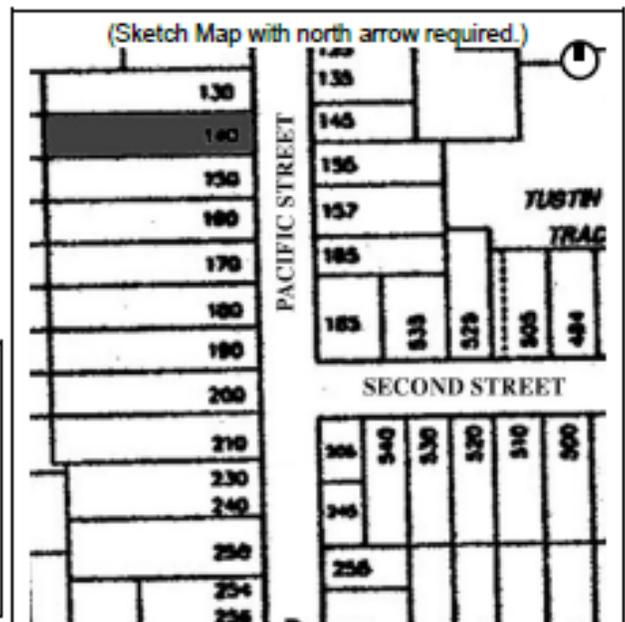
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 145 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 5B1

\*Resource Name or # (125) 145 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1924.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: probably Bowman

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: A,B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this house is significant as an example of the California Bungalow style in Tustin, it is also important because of its association with early Tustin residents.

John and Freda McFadden originally purchased four lots from John and Sarah Alley in 1901. Mr. McFadden, owner of a Santa Ana hardware and sports store, built the house on the corner of First and Pacific with an insurance office in the home. After his death in 1920, his wife, Freda, sold the house to Lester and Myrtle Keever. They sold one lot to Ellen Howes who had this home built in 1924. Ellen Howes was a fruit picker. She lived in the house through 1957.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (125) 145 Pacific St

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- offset front facing gabled porch matching the taller main gable roof
- vertical lattice venting located on the gable peaks,
- single beam ends and rafter tails topping the roofline
- narrow clapboard siding covering the exterior
- rounded molding trimming the corners
- double hung windows with slant cut lintels are used throughout the exterior
- small porch, leading to the driveway, recessed on the north side
- original matching garage, with car siding clad doors, located in the back of the house

# 150 PACIFIC STREET



See following pages for property information



# 155 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (127): 155 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The Craftsman bungalow style house was built in 1915 on 1.75 acres of land.

The front door is new. A sliding glass door has been installed on the north side. A shed style room has been added to the back.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Early Ranching & Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is a good example of the proliferation of Craftsman architecture in Tustin. It is also associated with the Fewel family, early Tustin residents who purchased the property in 1893. William Fewel, a farmer, died soon after the home was constructed. His widow, Alice Fewel, lived in the home until the 1920's. The house has had numerous owners since.

The building's character defining features include, but are not limited to:

- a steeply pitched side facing gabled roof with a gabled dormer
- front and side gable faces with latticework venting and single exposed beam-ends
- tapered elephantine columns, trimmed in molding, and supported by piers in two shades of gray brick, supporting the porch roof
- a plate glass window, topped with a plain transom, flanked by double hung sidelights looking onto the porch
- a matching set of sidelights is on the south of the porch
- original single clapboard clad garage is located in the rear

B11. Additional Resource Attributes: (HP2)—Single Family Property

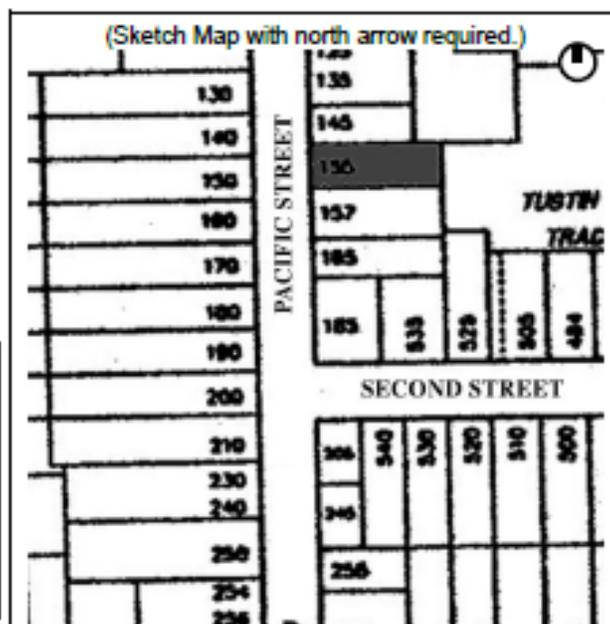
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 160 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (128) 160 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Floyd and Daisy Turner purchased this property from Alice Albee in 1925. The Santa Ana Improvement Company completed construction of the house in 1926.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown b. Builder: Santa Ana Improvement Company

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is significant as an example of the fine Colonial Revival style in Tustin. It is also important because of its associations with early Tustin residents.

Mr. Turner was a foreman for the Tustin Lemon Association and lived on Holt Avenue in Tustin before moving to this house. In 1927, Floyd Turner became a foreman for the Central Lemon Association packinghouse. The house was sold in 1945.

The building's character defining features include, but are not limited to:

- stucco cladding
- gabled wing with red clay tile clad roof, extending from the front facade on the south side, centered with a 3-pipe vent and a pair of double hung windows
- wider double hung window, flanked by double hung sidelights, centered in the flat roofed northern wing matching window set in the center of the recessed centered entry with arched tops
- wing wall form built along the south wing
- natural wood door with glass panes located on the northern most wing
- matching stucco clad flat roofed garage

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

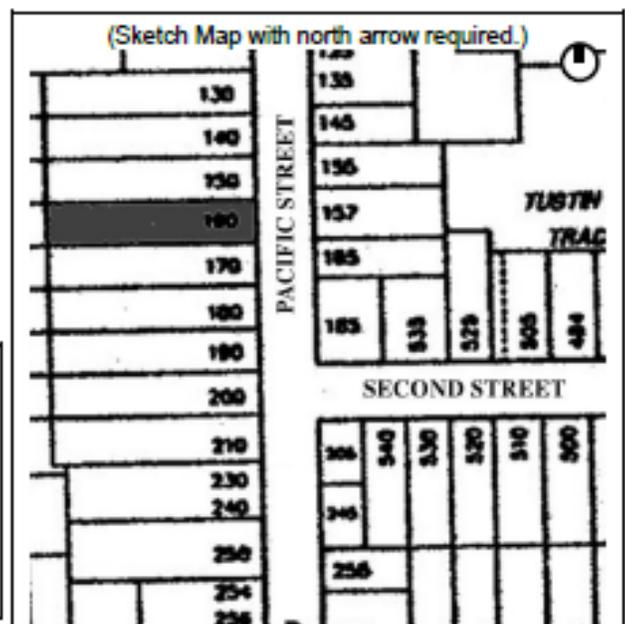
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordanes

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 165 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (129): 165 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The property, originally owned by real estate businessman Clarence W. Sheats in the 1880s, sold this and two other lots to B. F. Mason in 1889. The Fewel family purchased this lot (1.75 acres) and owned it until 1923. Walter and Jessie Craig purchased the property and built the present house in 1923.

The front porch has been enclosed, a smaller porch and a bathroom were added.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1950

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This property is significant as an example of California Bungalow architecture in Tustin and because of its association with early Tustin residents.

Subsequent owners include Jerome Kidd, auto shop owner and Tustin Councilman and Mayor in the 1940s.

The building's character defining features include, but are not limited to:

- all shaped roof of the main structure with medium pitched side facing gables
- narrow clapboard, trimmed with corner boards, covering the exterior
- double hung windows are used in pairs and singles throughout the exterior
- narrow molding trim above each lintel

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

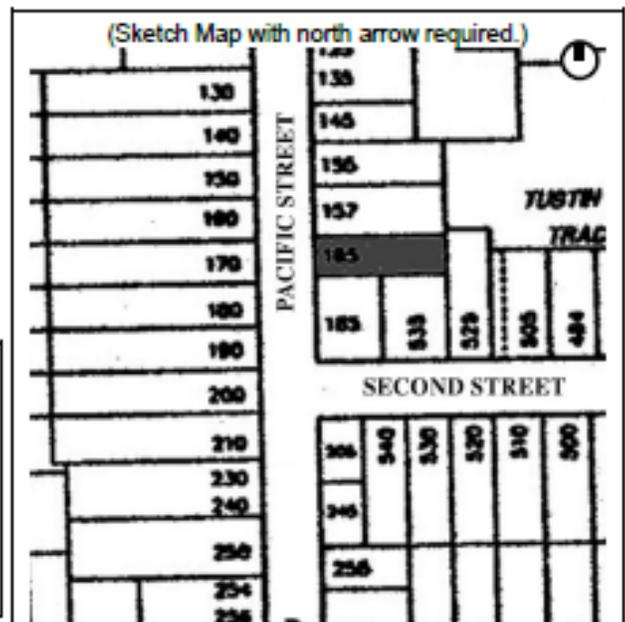
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 190 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (357) 190 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Craftsman

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built in 1915.

The front and side facing facades have been substantially altered including the new porch metal supports and additions.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant because of its characteristic California Craftsman style that was popular between 1910 and 1930 in Tustin. However, alterations impact the building's integrity.

The building's character defining features include, but are not limited to::

- front facing gables, open eaves and exposed rafters
- full porch extending the length of the front
- door and windows framed with trim and molding

B11. Additional Resource Attributes: (HP2)—Single Family Property

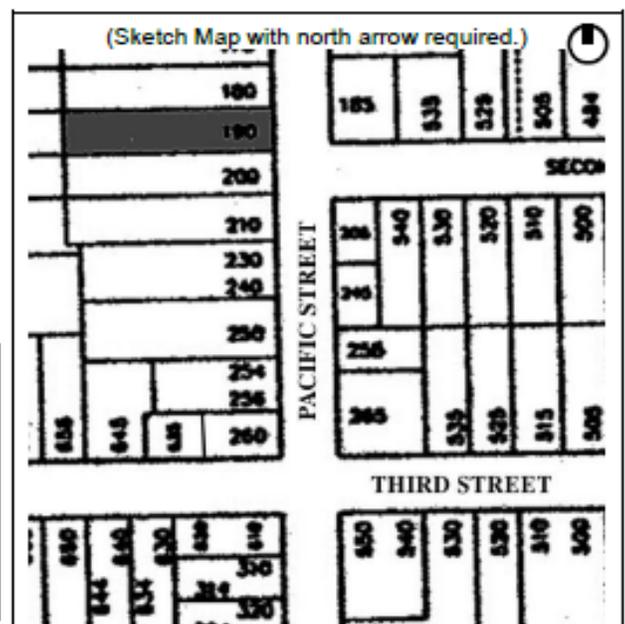
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 200 PACIFIC STREET



See following pages for property information



## 210 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (131) 210 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally part of a large land parcel owned by Alice Albee, this property was sold to A.C. Newell, who then sold it to George Brown in 1925. William Satterwhite, cesspool businessman, purchased the house and lot in 1926 and moved in with his wife, Louise, in 1929. The house was probably moved to this location sometime after 1922.

A small shed style porch, supported by two pairs of narrow wooden posts, was probably added during the 1950's. A flat-roofed clapboard-clad wind has been added to the north side, in the rear. Shutters were removed after 1990.

\*B7. Moved?  No  Yes  Unknown Date: Post 1922 Original Location: Unknown

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

As one of few examples of Dutch Colonial Revival architecture in Tustin, this one and a half story building is significant because of its architecture, and it contributes significantly to the historic streetscape of the Tustin Historic District.

The building's character defining features include, but are not limited to:

- Dutch style gambrel roof with front and rear facing gables
- front gable face clad in wood shingles with triangular braces, a louvered vent at the peak, and exposed rafter tails.
- pair of matching recessed multi-paned casement windows centered in the gable
- lower floor clad in narrow clapboard siding
- identical double hung windows flanking the front door with the same style window throughout the exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

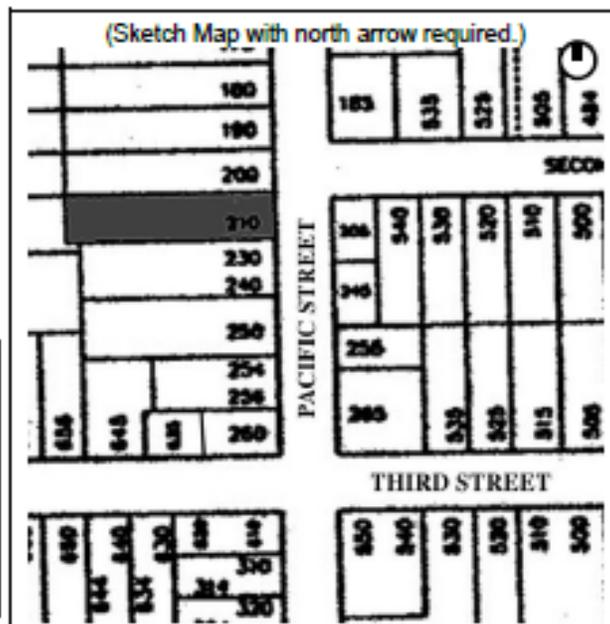
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



## 245 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (132) 245 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

Arthur and Elizabeth Widden purchased this property, originally owned by James and Sarah Brown, in 1932. The Widdens left their 520 S. B Street residence and moved into this newly built home.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is significant as an example of California Bungalow architecture in Tustin.

The building's character defining features include, but are not limited to:

- symmetrical in shape with a front facing gabled roof and matching centered portico
- narrow clapboard siding
- exposed beam-ends on the corners of the gables and a louvered vent centered in the front gable face tapered wooden posts supporting the porch
- pair of matching double hung windows located on each side of the porch

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

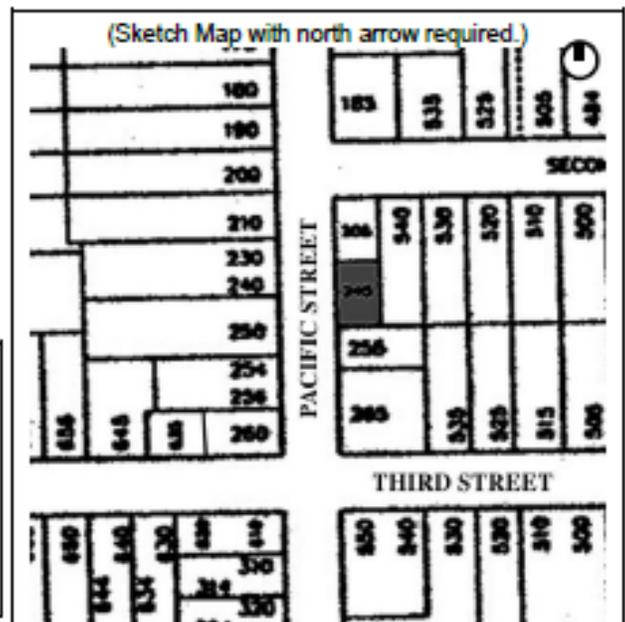
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



# 250 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (98): 250 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The home was built in 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is significant as an example of the fashionable Spanish Colonial Revival architecture in Tustin and its association with important early Tustin residents. F.M. Carter, the owner of a grocery store next to the Knights of Pythias building on El Camino Real, owned this house from 1928 to 1965.

The building's character defining features include, but are not limited to:

- a red tile clad roof and a gabled wing that projects toward the front with a round gable vent
- a nine light window
- shaped wing wall on the north end matching another on the south end of the covered entrance
- Byzantine style arch leads into the entry porch
- A matching arch opening onto the courtyard on the south side with a low solid stucco clad wall
- stucco-clad chimney, flanked by small windows, on the south side
- 9 light stationary window, flanked by multi-paned casement sidelights, facing the courtyard
- other casement windows found throughout the exterior
- original door

B11. Additional Resource Attributes: (HP2)—Single Family Property

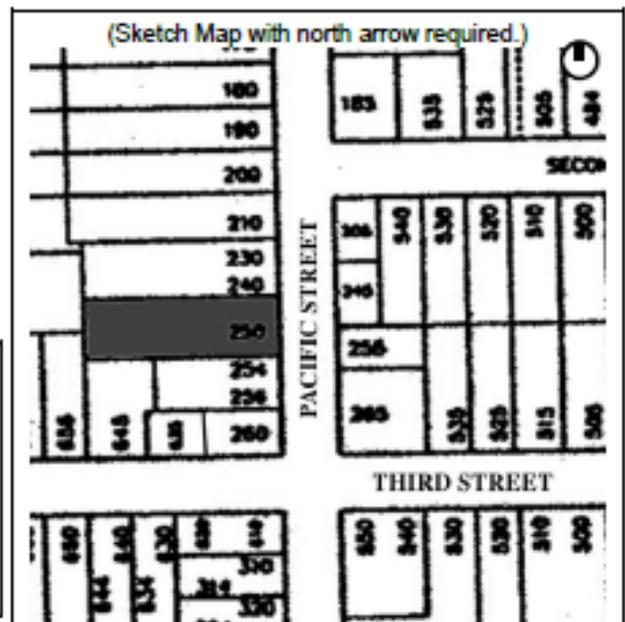
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June 1990; Jordan, Carol H, *Tustin: A City of Trees*, Heritage Media Corp., 1996;

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 255 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (360) 255 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built before 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1840-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin. Unlike other houses in Tustin, this particular building appears different in style and characteristic.

The building's character defining features include, but are not limited to:

- hipped roof gable with an entry porch on the right side supported by a single column
- framed multi paned double hung windows
- exposed rafters with little overhang

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

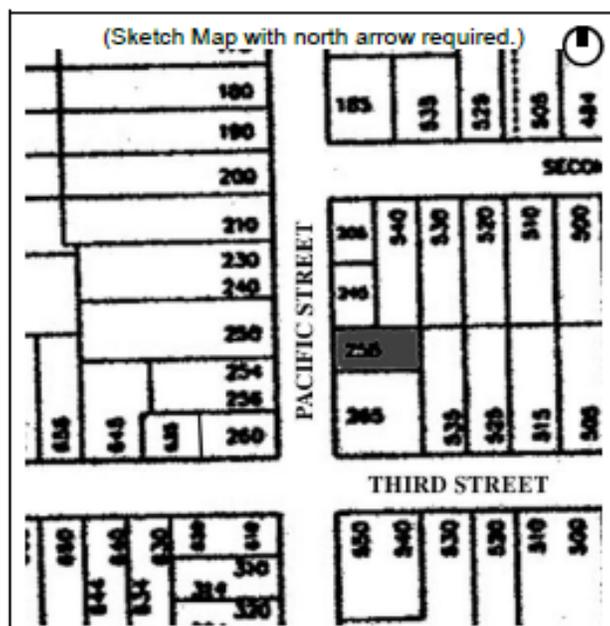
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 260 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 5B1

\*Resource Name or # (133) 260 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Dutch Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Godfrey F. Andriest purchased the southeastern section of this Pacific Street block in 1909 and, reportedly, built his house at that time.

The porch has been screened. A new garage was built in 1990.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Dutch Colonial Revival styling is unique. The building is significant as an example of the Dutch Colonial Revival style in Tustin. This particular building, however, has influence from other revival styles typical of its period. The house possesses almost all of its original integrity even though the porch has been screened. The manufactured stone foundation is rare in Tustin, although it was popular in other Orange County cities.

The original owners planted walnut trees in the yard. Godfrey Andriest and his wife were German musicians, and taught violin and piano, respectively.

(con't.)

B11. Additional Resource Attributes: (HP2)—Single Family Property

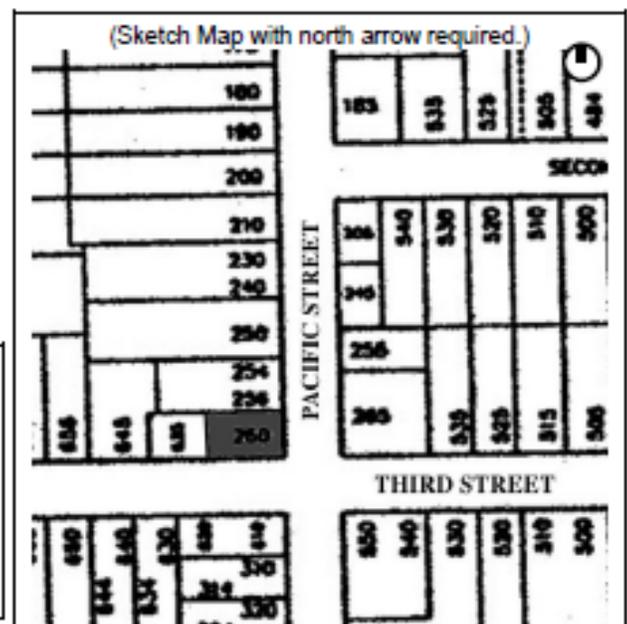
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (133) 260 Pacific Street

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- a high hipped roof with a gambrel shaped corner facing gables sheltering the recessed screened porch in the southeastern corner
- matching gabled dormer, centered with two windows, located on the front façade
- red brick chimney extending from the center of the hipped roof
- elaborate carved triangular brackets and exposed beam-ends are located along the roofline
- cladding in narrow clapboard siding upper two thirds of the house
- front steps and piers that match the foundation
- plate glass window located to the north of the porch
- a plain transom and flanked by double hung sidelights, matching an identical bay on the south façade
- small double hung windows

## 265 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 3S

\*Resource Name or # (99) 265 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Victorian-Greek Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This Greek Revival style building was built in the 1870's but was later moved to the site. The porch has been restored with turned posts, decorative brackets, and carved balusters. A flat roofed clapboard clad addition in the rear is attached on the north.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: Unknown

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Early Ranching & Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: A,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This house is significant not only due to its 1870's architectural integrity and because it is the probably the oldest surviving house in the city. The house is also a very good example of an early Orange County vernacular construction in the Greek Revival Style.

Character defining features, include but are not limited to:

- may well be the oldest in Tustin
- double hung windows, set in boxed frames, suggest the house may have been constructed in the 1870s narrow clapboard siding covering the front and back of the southern most gabled section, while board and batten siding covers the small single story ell
- diamond cut shingles and a double hung window occupying the front and back gables of the taller section
- eaves enclosed and trimmed in molding on the gabled roof

B11. Additional Resource Attributes: (HP2)—Single Family Property

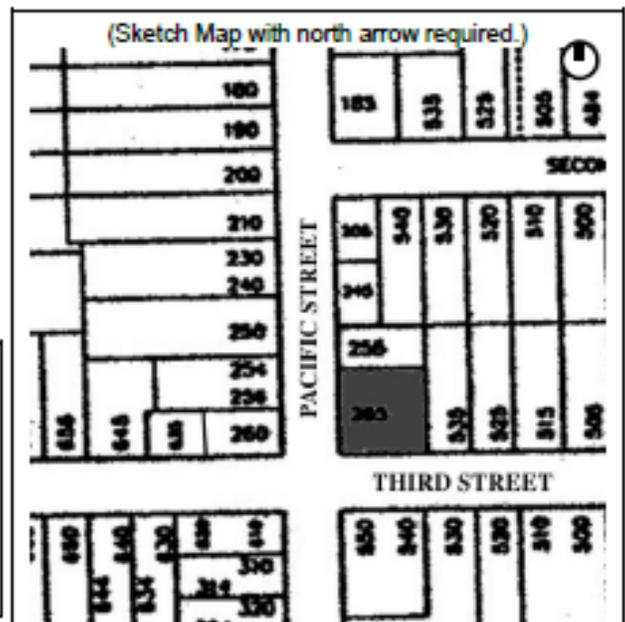
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Tustin: *A City of Trees*, Jordan, Carol H., Tustin Area Historical Society.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 410 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 5D1

\*Resource Name or # (134) 410 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was most likely constructed in 1925.

A gabled roof, clad in red clay tile, was installed in 1987 to replace the original flat roof. While this is a major alteration that changed the looks of the house considerably and is not compatible with the original character of the house, it is marginally in keeping with Spanish Colonial architecture.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This house is significant primarily because of its associations with early Tustin residents. Edmond Kiser acquired the property in 1924, when Pacific Street south of Main was opened. He was a builder by trade and probably built this house in 1925. Mr. Kiser was a volunteer fireman, and in 1927, he was elected to Tustin's first city council. Ownership was transferred to William Otis, president of Santa Ana Finance Company. He was the owner between 1926 to 1929 and later, Fred Schwendeman, partner in the Tustin Cement Pipe Company, owned the house from 1929 to 1946. Mr. Schwendeman was a recognized authority on concrete piping and supervised the installation of the Irvine Company's network of irrigation pipelines. Additionally, he served as Commissioner of Health and Safety on Tustin's first city council from 1927-1937, and like Ed Kiser, he was a volunteer fireman. Subsequent owners included Leslie W. Bennet, a superintendent of William Iverson oil distribution in Santa Ana, and Edwin A. Veeh, a science teacher at Tustin High School.

B11. Additional Resource Attributes: (HP2)—Single Family Property

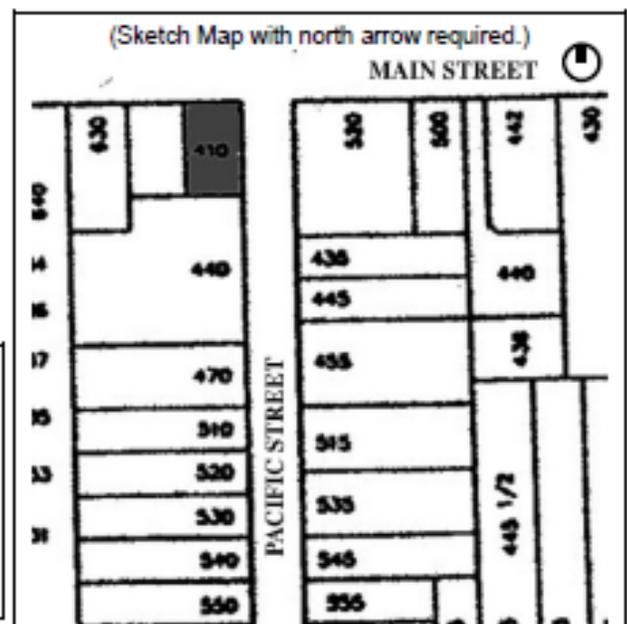
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAWest, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (134) 410 Pacific St

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- stucco cladding
- ornate carved brackets supporting the porticos on the north, south, and east sides and a mullioned window pattern
- red clay tile on the porticos and on the hoods above the windows on the east side
- windows and doors decorated at the top and bottom with narrow borders and square corners of glass with a pair of panels filling in the area between the borders
- pair of windows flanking the matching door, topped with a red clay tile clad portico on the north side
- recessed porch on the east side, covered by a red clay tile clad roof and bordered with wrought iron railings three matching casement windows located on the north side of the porch
- row of high single paned casement windows is on the south side
- red clay tile clad portico, with matching brackets, cover the door on the south façade
- front door with a large window in the center flanked by an arched plate glass window on the north and a wrought iron gate, set in an arched stucco clad frame, on the south side
- small stucco clad house with a flat roof located behind the main house.
- stucco clad garage, with a flat roof and plain wood garage doors, is to the south of the small house

# 440 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (367) 440 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952, but has been altered with a new ell shaped wing on the front façade.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter Development

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin. This single storied ranch style building characterizes the horizontal and linear nature of the building type. Although larger than early tract development homes, this building has similar features in its relationship to new subdivision ordinances in California municipalities dictated width and turning radii of streets, size of blocks and requirements for developers. The ranch and similar post World War II styles, fit into these subdivision regulations as the most widely distributed architectural style in Southern California.

The building's character defining features include, but are not limited to:

- front facing gable and side wing
- exposed eaves with an entry porch under the wing's eaves
- chimney located in the central portion of the wing

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 445 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5N

\*Resource Name or # (368) 445 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built in 1925. However, the first floor extension appears to have been added at a later time, as evident with its new window treatment and cladding along the lower portions of the wall.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the Spanish Revival style in Tustin.

Character defining features include, but are not limited to:

- stucco siding
- tile roofing
- low-pitched gable roof
- large focal windows
- wingwall at one corner

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

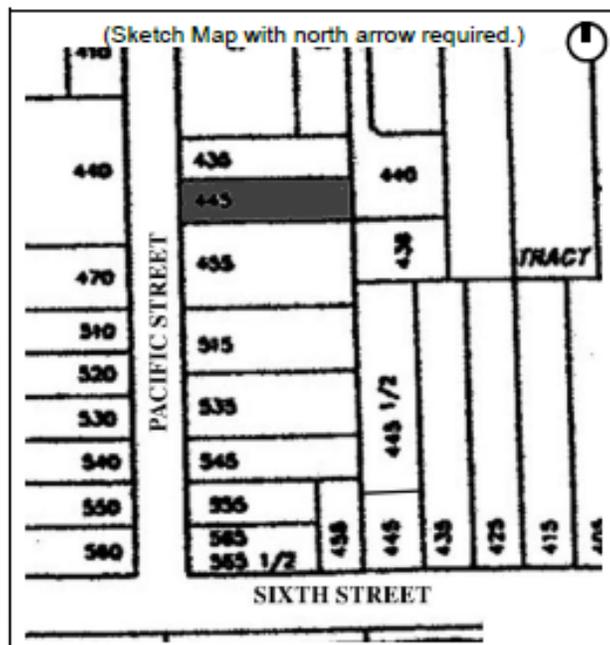
B13. Remarks

This building requires additional information and research to assess, fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 510 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (135): 510 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The Marple family owned this property from 1903 to 1925, and during that time, the property was used for an orchard. This property was part of an early subdivision developed in 1924. Mathew and Emma Dixon moved from North Broadway in Santa Ana to this new lot and finished their home in 1925.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: A,B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This property is significant as a typical of California Bungalow architectural influence in Tustin during the 1920s. It is also important because of its association with the McCoy family, owners of the McCoy Sheet Metal Works from 1945 through the 1950s.

The building's character defining features include, but are not limited to:

- a front facing hipped gabled roof with matching front facing gabled porch
- single exposed beam-ends on the corners of the gable and crisscross ventwork at the peak of the main roof
- narrow clapboard siding covering the exterior
- a front door containing five large horizontal glass panels
- small double hung windows flanking the brick chimney on the south side
- square wooden posts, resting on tapered stucco-clad piers, supporting the porch
- a pair of double hung windows located on the north and south sides of the porch
- a pergola, located on the north side of the porch, covered with latticework on the top and at the north end recessed porch in the center of the south side with a multi-paned door and sidelights

B11. Additional Resource Attributes: (HP2)—Single Family Property

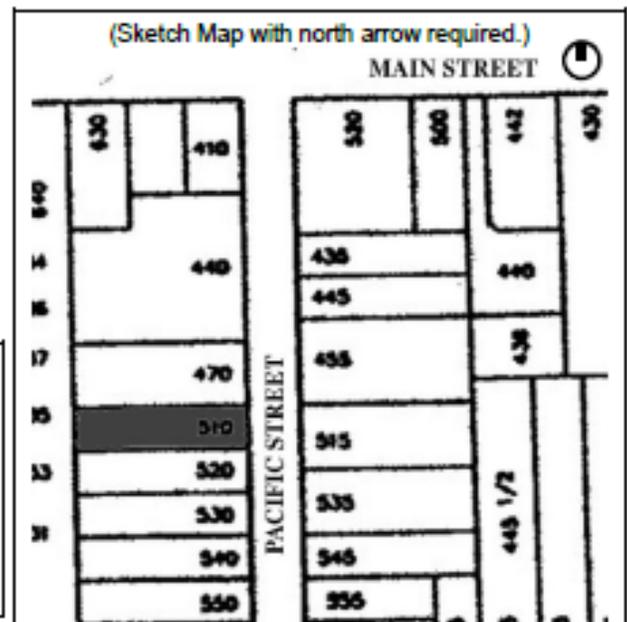
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 515 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (371) 515 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch style modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter development, Post WWII Boom

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin.

As Tustin became a center of manufacturing for the World War II and post war defense effort and other economic consequences, tract houses were being built that would dominate the housing market for decades. Tract ranch style homes are typically small, one story buildings with a lower pitched roof. This particular one storied, ell shaped house has a hipped roof extending over an entry porch. Unlike other typical tract houses, this building has an arched support and column for the porch roof and large window openings onto the porch. Modifications since the original building was constructed are likely.

The building's character defining features include, but are not limited to:

- hipped roof and open eaves
- columns and an arched beam supporting the partial porch

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

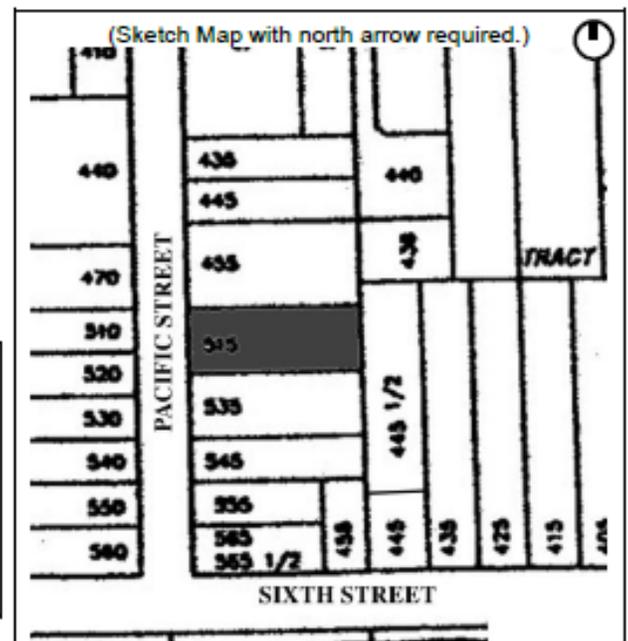
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 520 PACIFIC STREET



See following pages for property information

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (136): 520 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1919.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

In 1924, Harry Marple, son of fruit growers Richard and Edna Marple, subdivided the family orchard along South Pacific Street. He dedicated a strip down the center from Main to Sixth Streets, for the extension of Pacific Street. This particular property was sold to George Gaylord, a wood shop and physical education instructor at Tustin Grammar School, in 1929, and the home was constructed that same year.

This building is significant as one of a variety of California Bungalow buildings that contributes to Tustin. It is also important because of its association with early residents of Tustin.

The building's character defining features include, but are not limited to:

- front facing gabled roof and matching centered porch
- small louvered vent centered below the peak
- narrow clapboard siding covering the first floor exterior
- square posts, resting on tapered clapboard clad piers, supporting the roof
- porch and pergola extending to each side
- front door with a mullioned border and flanked by large plate glass windows
- two story clapboard clad garage

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(Sketch Map with north arrow required.)



Map currently unavailable

(This space reserved for official comments.)

## 535 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 5D1

\*Resource Name or # (137): 535 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The home was built in 1925.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the California Bungalow Style in Tustin. It is also important for its association with early Tustin residents.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

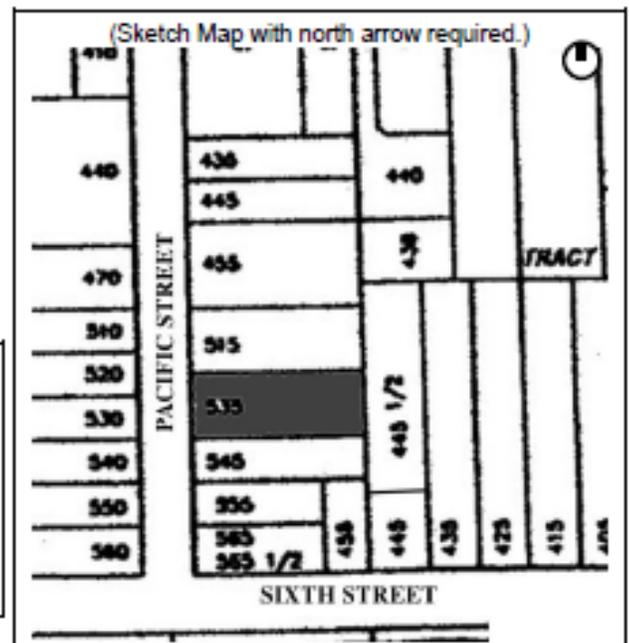
This property was a part of the original Marple family subdivision, originally an orange orchard. In 1924, Howard Marple extended Pacific Street from Main to Sixth by building a road through the orchard and selling individual lots. Harrison Malicot, a tree doctor for the San Joaquin Fruit and Investment Company, foreman of the Iron's Nursery Company in 1931, and janitor in the Tustin School system in the 1940s. He and his wife, Neppie Malicot, bought this lot in 1924.

This building requires additional information and research to assess, fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (137) 535 Pacific St

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- steeply pitched gabled roof, with gables to all four sides and a gabled porch to the front
- narrow vertical louvered vent centered at the peak and single exposed end-beams and rafter tails below the roof
- offset porch
- row of mullions capping each door and window, forming transoms above the plate glass windows and double hung sidelights flanking the porch
- square bay with a shed style bay is located in the south façade
- double hung windows throughout the exterior
- small single storied bungalow, clad in narrow clapboard siding, located behind the house

# 550 PACIFIC STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (375) 550 Pacific

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952. Although this one storied, ell shaped, hip roof building may originally have been part of a typical tract development, it has been altered substantially over the years.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter Development

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin.

This building's character defining features include, but are not limited to:

- hipped roof
- fascia board which extending horizontally around the building and conceals the rafters
- door and windows which are framed with trim
- two metal decorative columns supporting the porch eave extension
- sidelights on both sides of the door entry

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

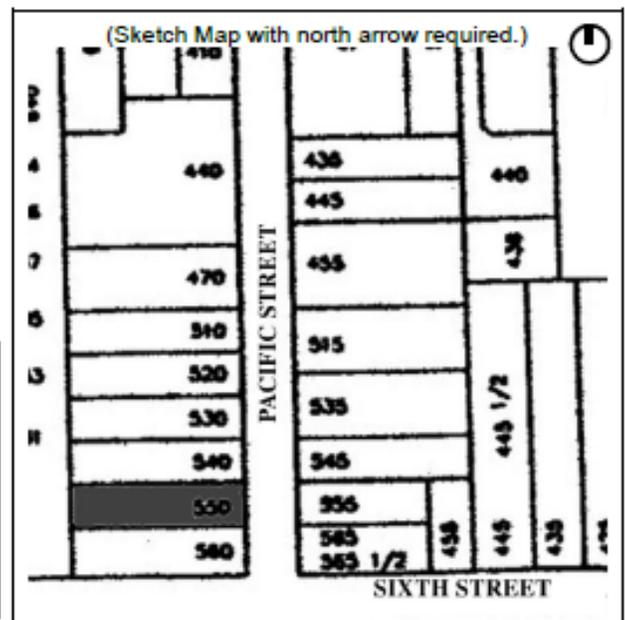
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 560 PACIFIC STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (138): 560 Pacific Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The home was built in 1930.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the proliferation of Spanish Colonial Revivals in Tustin. It is also important for its association with early Tustin residents.

Part of the Harry Marple subdivision in 1924 that created the extension of Pacific Street from Main to Sixth, this corner property was sold to Robert and Evelyn Korff in 1930. Mr. Korff was a teacher at Tustin High School during the 1930s.

The building's character defining features include, but are not limited to:

- ell shaped gabled roof clad in red clay tiles with round vents at the gable peak
- large plate glass window, with heavy beamed lintel and a diamond paned grill beside the window, centered in the front facing wing
- main roof on the south side of the wing, supported by heavy square wood posts, extending downward to create a shed style entry
- pairs of casement windows, flanked with wood shutters, facing into the courtyard in the ell
- low stucco clad wall bordering the open courtyard

B11. Additional Resource Attributes: (HP2)—Single Family Property

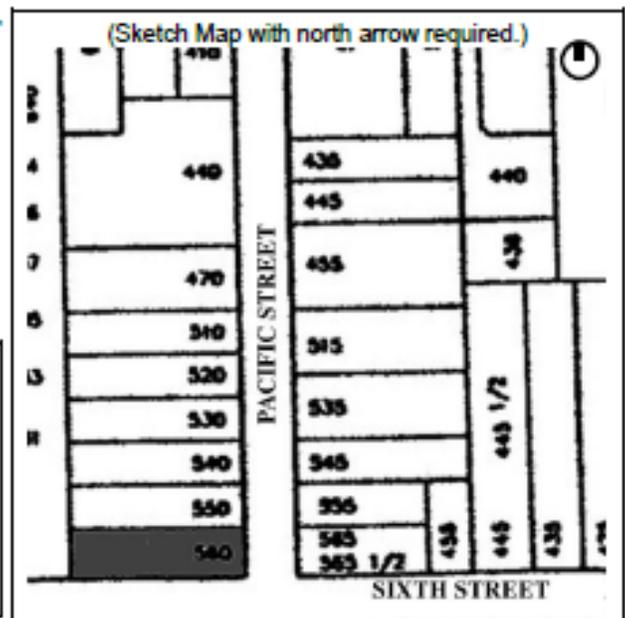
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



## 145 PASADENA AVENUE (S)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (378) 145 Pasadena

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: Unknown

\*B10. Significance: Theme: Highway & Commuter Development

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-Present

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to tract ranch architecture as the dominant form in Tustin. Integrity has been impacted because of alterations over the years.

The building's character defining features include, but are not limited to:

- side facing gables
- entry door and a series of matching windows extended horizontally along the front façade

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



## 175 PASADENA AVENUE (S)



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (381) 175 Pasadena

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Tract Ranch style

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built prior to or around 1952.

The brick chimney and windows were very likely added later.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter development, Post WWII Boom, Suburbanization

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950 Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin. This single storied, hip roof building appears to be part of a tract development prototypical variation. The porch and its four slender columns support the extended roof is probably original. As Tustin became a center of manufacturing for the World War II and post war defense effort and other economic consequences, tract houses were being built that would dominate the housing market for decades. New subdivision ordinances in California municipalities dictated width and turning radii of streets, size of blocks and requirements for developers. The ranch and similar post World War II styles fit into these subdivision regulations as the most widely distributed architectural style in southern California.

Tract ranch style homes, like this one were typically small, one story buildings with a lower pitched roof. The roof is shingled and the exterior walls are finished with stucco.

The building's character defining features include, but are not limited to:

- hipped roof and an extended eave sheltering the porch entry
- porch with four wood column supports
- windows of various sizes throughout the exterior
- brick chimney on the front facade to the left of the entry

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

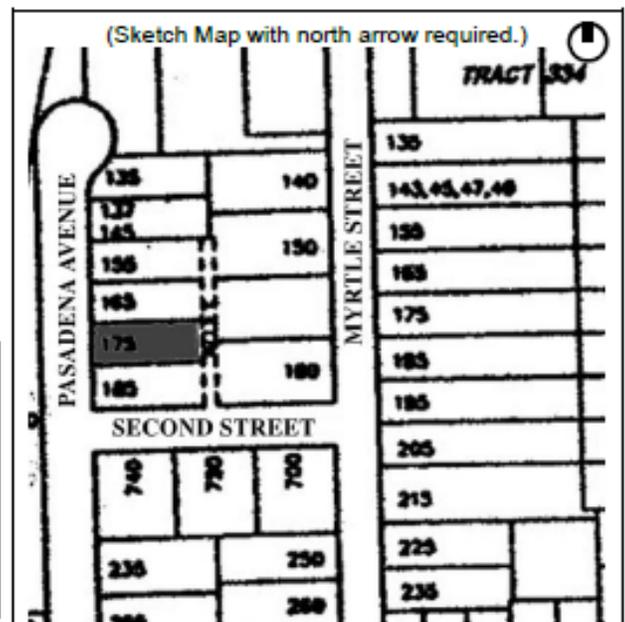
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 310-A (S) PASADENA AVENUE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 4S2

\*Resource Name or # (100): 310 A Pasadena Avenue (S)

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was originally constructed in 1880 and relocated to its current location.

The two-storied Craftsman building has been altered over the years.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of Craftsman Bungalow style in Tustin, though alterations impact the integrity of the building.

The property is landscaped with mature trees and plantings.

The building's character defining features include, but are not limited to:

- side facing gables with a front facing gable at the second level
- hipped roof with a front facing dormer with narrow, framed windows and sidelights
- entry with arched arcade columns and a balcony above
- landscape with mature trees and plantings

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

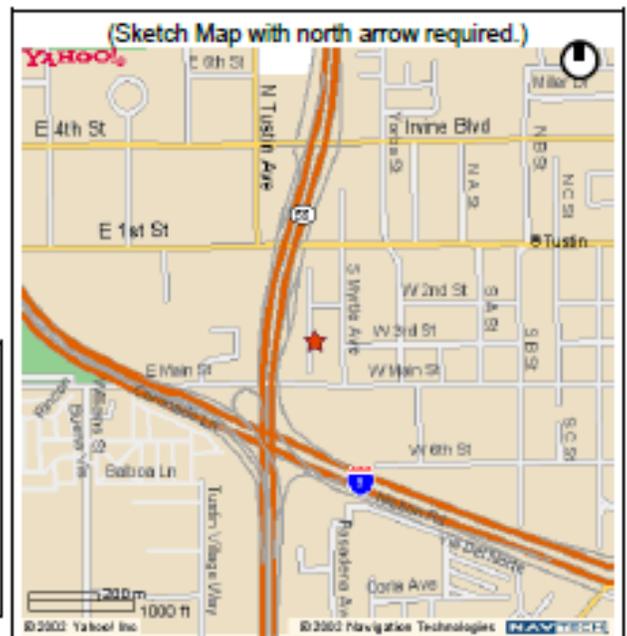
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 310 B (S) PASADENA AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 457

\*Resource Name or # (139): 310-B Pasadena Ave. S

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Victorian-Italianate

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was constructed in 1880.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Agriculture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1888

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This property may be eligible for National Register listing if alterations are reversed.

This building is significant as an example of the Italianate style and its association with early Tustin residents. The original use of this property was probably a stage stop during the horse drawn era of the 1800s. More recent records indicate that Charles Wheaton Wilcox, early Tustin pioneer, bought a three story hotel, removed one story, and used the remaining building as a residence called "The Villa". Mr. Wilcox had a large collection of books at the Villa in a eucalyptus wood-paneled library, one of the earliest uses of this wood in the US. Mr. Wilcox was a founder and director of the First National Bank of Tustin. He planted concord grapes on his property at Tustin Avenue and First Street and was an orchardist and amateur horticulturist who was one of the first to graft five varieties of citrus onto one root. With Dr. Wall, Mr. Wilcox started a packinghouse, the first in the area, and later formed the Santiago Fruit Growers Association in Orange. Other accomplishments include starting the Episcopal Church of Tustin, director of the Santa Ana Abstract Company and receiver of the old Seibert Bank in Santa Ana. The family owned this property from 1893 to 1920 but did not reside at this site since 1916. Renters occupied the building until John Rinard purchased the home in 1920. Rinard, owner through 1946, converted the house into apartments. The original carriage door has been replaced with aluminum sliding glass doors.

B11. Additional Resource Attributes: (HP2)—Single Family Property

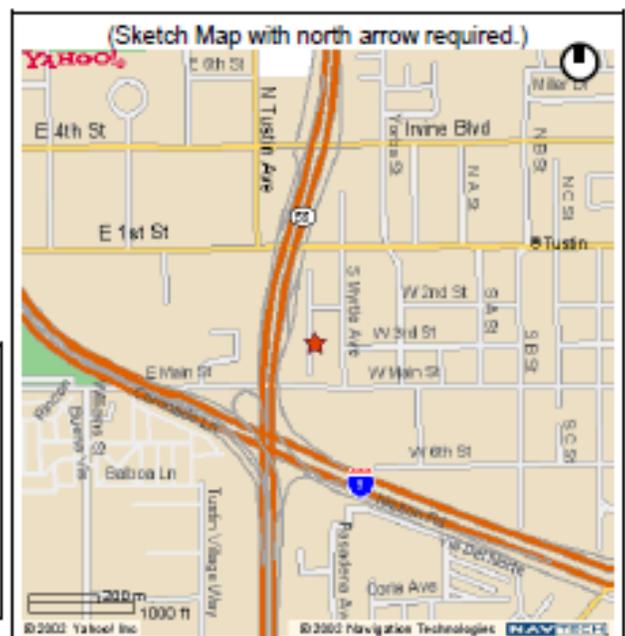
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (139) 310-B Pasadena Ave S

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

This building's character defining features include, but are not limited to:

- flat roof, with an enclosed cornice and exterior clad in stucco
- double hung windows, typical of those used in the 1870s and 1880s, found throughout the building; two are centered in the front facade, second floor
- small single paned window on the north side, near the eaves

## 230 PROSPECT AVENUE



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (296) 230 Prospect

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: late Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was constructed around 1915.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building, with a low pitched roof, front facing gable, is significant as an example of the Colonial Revival style in Tustin.

This building's character defining features include, but are not limited to:

- low pitched, front facing gable
- porch which extends the full length of the front facade and has columns with railing and balustrades
- door and series of windows that are framed with wood trim and moldings
- narrow, horizontal siding
- vent located above the symmetrically placed eaves of the front facade

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

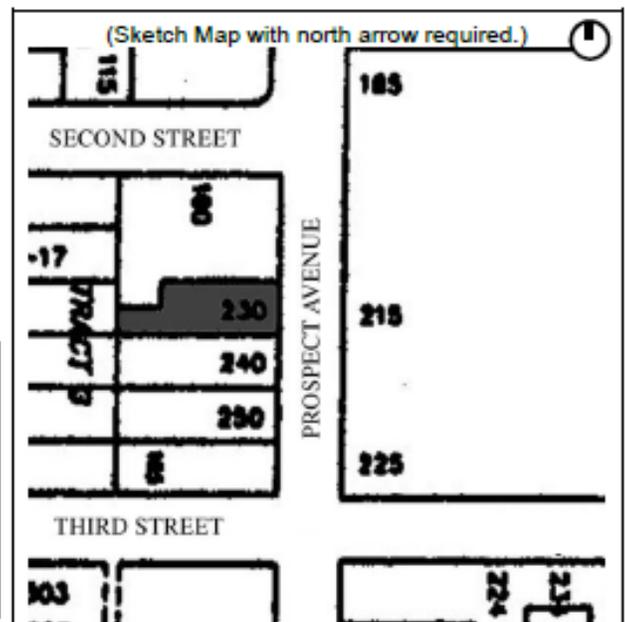
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 240 A PROSPECT AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page of 1

\*NRHP Status Code: 5B1

\*Resource Name or # (140): 240 A Prospect Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

John and Jessie Kiser built this Craftsman bungalow style single story house in 1933

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This house, appearing in two connected structures, is significant as Craftsman Bungalow architecture in Tustin.

It is also associated with early Tustin residents, John and Jessie Kiser. Mr. Kiser was a millman for the Barr Lumber Company and the Santa Ana Lumber Company.

The building's character defining features include, but are not limited to:

- side facing gabled roof on the front section and a two story front facing gabled roof behind
- wide shiplap siding used to cover the exterior
- small arched hood covering the front door, flanked by double hung windows
- red brick chimney located on the front facade, near the south end
- casement windows are used throughout the rear section

B11. Additional Resource Attributes: (HP2)—Single Family Property

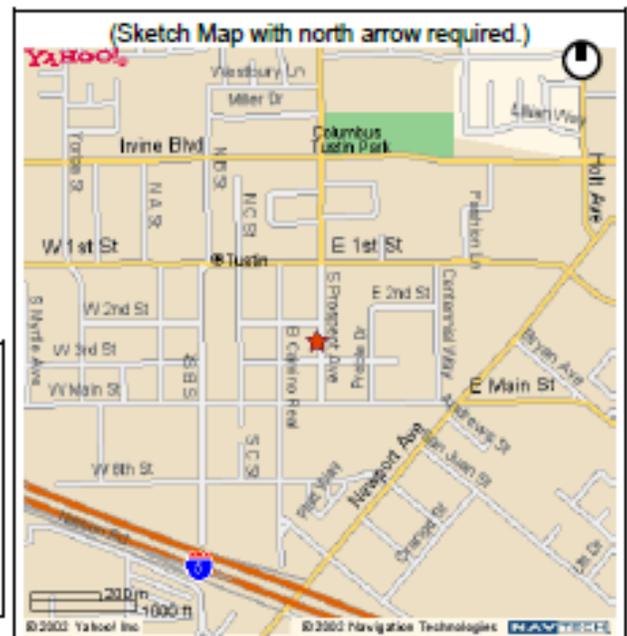
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 240 B PROSPECT AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (141): 240 B Prospect Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1933.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This home is significant as an example of the California Bungalow style in Tustin. It has added importance for its association with early Tustin residents.

John Kiser, millman for the Barr Lumber Company and the Santa Ana Lumber Company, and his wife, Jessie, built this single story California Bungalow style building behind their home at 240 Prospect soon after it was constructed in 1933.

The building's character defining features include, but are not limited to:

- front facing gabled roof, clapboard siding, and casement windows typical of the late 1910s and 1920s
- multi-paned door, covered by a small gabled portico, supported by triangular braces
- horizontal vent on the space above the portico

B11. Additional Resource Attributes: (HP2)—Single Family Property

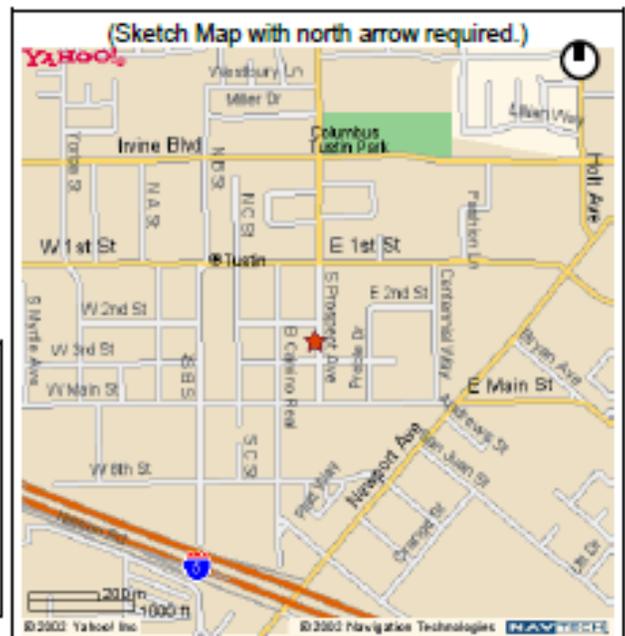
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks:

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: October 2002

(This space reserved for official comments.)



# 14402 PROSPECT AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (142): 14402 Prospect Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Victorian—Queen Anne

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1892.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant because of its architecture and association with early Tustin residents. The Queen Anne building, now part of a Church complex, is located in the middle of a group of trees and surrounded by a small orange grove. First owner, Zeke Zielan, was a principal of the Tustin Grammar School from 1889 to 1906. Additionally, he served two terms on the Board of Education and ran for County Superintendent of Schools in 1902. He purchased this property, built this house, and planted a surrounding orange grove in 1890. Mr. Zielan served an important role in the growth of the Tustin School District. The orange grove and home was sold to George and Lillian Roy in 1910. The house retains much of its original fabric, with the exception of the roof on the tower at the Northwest corner of the front facade, the front window, and one of the front doors.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

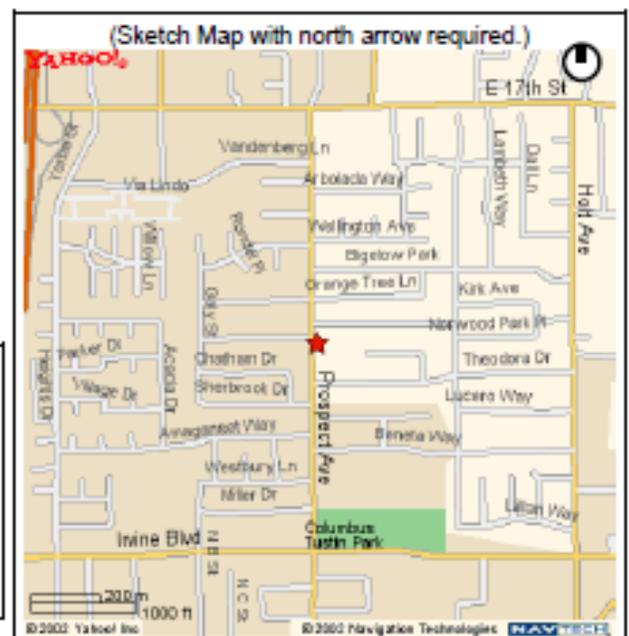
B13. Remarks:

Property is located outside city limits.

\*B14. Evaluator: TBAWest, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (142) 14402 Prospect Ave

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- medium width shiplap siding
- front facing gabled roof bordered with enclosed eaves
- gable face and smaller offset front porch gable clad in fishscale shingles
- larger gable centered with a rectangular decorative panel, topped with a row of bead and reel trim, and flanked on the sides by carved brackets
- smaller gable with a curved bargeboard with cutwork
- porch, supported by turned posts with rosettes set in square panels on the frieze
- two doors leading to the interior – door in the north wall appears to be original, and has a window in the top, molding trim, and dentil work – door in the east facade is a newer door and has a multi-paned window in the top and a panel in the bottom with criss-cross accents
- ca. 1900 plate glass window topped with a leaded glass transom
- lean to porch with a row of windows.
- group of trees and surrounded a small orange grove

# 14611 PROSPECT AVENUE



See following pages for property information



Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

This building's character defining features include, but are not limited to:

- construction out of pressed brick covered with stucco
- location in the center of a large, walled yard containing a variety of plant specimens
- heavy red clay tile clad roof
- side facing gabled roof, with closely spaced carved brackets and pipe venting at the peaks, running north to south
- large square chimney, with a row of medallions forming a band around the center, is located near the north end
- large square stucco clad posts that match those in the port cochere supporting the porch roof, continuing across the front to become the port cochere roof
- large single story red tile roofed wing extending toward the front from the two-story section
- multi-paned metal-framed casement style windows
- cast concrete decorative panel centered in the second floor of the front façade
- an adjacent window deeply recessed with a tile sill
- heavy wood shutters flanking the window to the north
- front door, located in the corner of the ell formed by the front facing wing, and ornamented with molding in an intricate pattern
- front facing wing with a large pilaster with large ornamental scroll on the top
- windows, one facing the north side, and the window in the center of the wing, both multi-paned and fronted with ornate wrought iron grills
- courtyard with a 4 foot wall and square piers matching those on porch and port cochere, that is located to the south side of the front wing
- large garage with red clay tile clad side facing gabled roof that is located in the back of the main house

***13152, 13641, 14122 RED HILL AVENUE***



See following pages for property information

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code 5S3

\*Resource Name or # (145 B) 13641 Redhill Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was between 1920-1940.

\*B7. Moved?  No  Yes  Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building is primarily significant because of its association with the Craftsman Bungalow style popular in Tustin.

Character defining features, include but are not limited to:

- front facing hipped on gable roof with exposed eaves and brackets
- open eaves and brackets
- vent louver windows symmetrically placed below the eave
- double hung, framed windows
- horizontal band extending across the exterior façade

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June 1990; Jordan, Carol H. *Tustin: A City of Trees*, Heritage Media Corp., 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(Sketch Map with north arrow required.)

Map currently unavailable

(This space reserved for official comments.)

***13152, 13641, 14122 RED HILL AVENUE***



See following pages for property information

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code 5S3

\*Resource Name or # (145 A) 14122 Redhill Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Monterey Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was between 1920-1940.

\*B7. Moved?  No  Yes  Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building is primarily significant because of its association with Revival styles popular in Tustin.

Character defining features, include but are not limited to:

- Monterey style building with a characteristic second story balcony cantilevered
- covered by the principal roof
- original building wall cladding on the second and first floors
- framed multi paned doors and windows
- brick chimney

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June 1990; Jordan, Carol H. *Tustin: A City of Trees*, Heritage Media Corp., 1996.

B13. Remarks

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(Sketch Map with north arrow required.)

(This space reserved for official comments.)

# 14462 RED HILL AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (144): 14462 Redhill Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1915. Used brick has been added to the first floor, front façade.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: A, B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant because of its architecture and association with early Tustin residents. Some especially fine mature trees, including some specimen avocados, surround the original 1915 Craftsman Bungalow and barn. The ranch is one of the few remaining operating groves in Tustin, with the healthy trees acting as a significant reminder of the thriving citrus industry that shaped the history of Tustin. The Nisson family contributed to the orange and walnut industry and was part of the ranch-oriented settlement period.

Charles Nisson and his new wife, Vera, bought a 10-acre walnut grove at the corner of Redhill and Walnut and built their new Craftsman bungalow style home in 1915. Charles was born on a ranch in Santa Ana and was known for his expertise as walnut and orange orchardist. After Charles Nisson died in 1957, his son, Matt, continued to live in the home and raise oranges and avocados. In 1968, 8.51 acres were sold, leaving 1.49 acres of land on the corner parcel still owned by the Nisson family.

B11. Additional Resource Attributes: (HP2)—Single Family Property

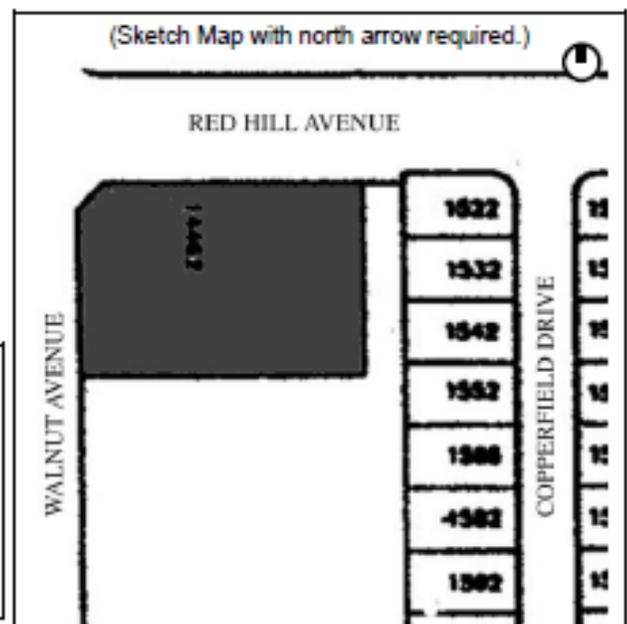
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

B13. Remarks:

\*B14. Evaluator: TBAWest, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (144) 14462 Redhill Ave

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- cladding in specialty siding of wide and narrow alternating boards
- side facing gabled roof with a large front facing gabled dormer that runs from the front of the side facing roof to the back
- criss-cross latticework venting, triangular braces, and exposed rafter tails line the roof
- two sets of double hung windows, flanked by louvered shutters, on the face of the large dormer
- shed style front porch, supported by pairs of large square wooden posts
- single storied wings extending to each side centered with plate glass casement windows
- shed style square bay located in the wing to the east of the front porch
- small garage is located on the Walnut street side and a large vertical sided barn with a front facing gabled roof, centered hay mow door, and sliding barn doors also situated on the Walnut Street side
- Landscape, including specimen trees of avocado and oranges

# 1042 SAN JUAN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (146): 1042 San Juan

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building was constructed in 1907.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant because of its architecture as an example of a Colonial Revival style with Craftsman influence. It is also important because of its association with early Tustin residents. Edward E. Smith, a local walnut grower, built this house in 1907. That same year, he sold it to J.H. Shaffer who immediately sold it to Martha Rantz. By 1909, Matthew and Birdie Truran had purchased the property, adding to several other lots that they had accumulated in that block. Local residents knew the area as Truranville.

The building's character defining features include, but are not limited to:

- hipped roof featuring gabled wings to the front and east side
- crisscross latticework venting, carved triangular braces and a row of decorative knobs accenting the gable faces
- wrap around porch running across the front and west sides
- pairs of narrow, wood posts that support the porch roof
- horizontal braces accenting the posts
- plain wood railing with vertical and horizontal balusters and borders
- pair of double hung windows centered in the front wing

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

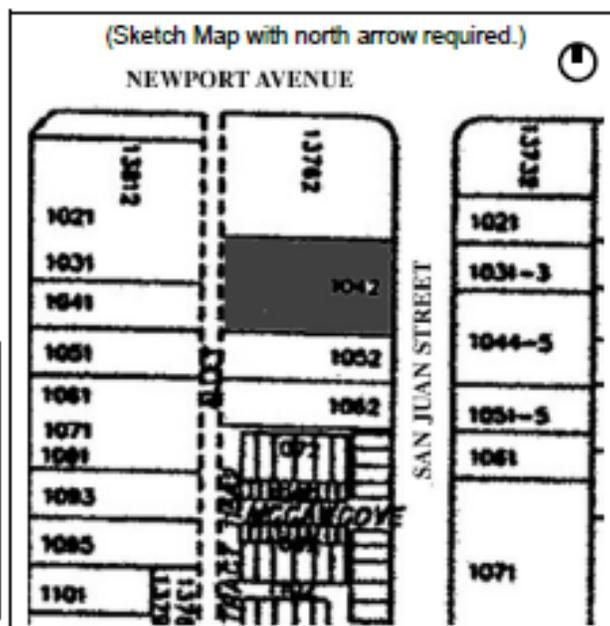
B13. Remarks:

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 1062 SAN JUAN STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (147): 1062 San Juan

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Greek Revival – Victorian

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building is one of the oldest in Tustin and was built in 1875.

A shed style dormer has been added to the west side. A shiplap-clad addition is on the east half of the front façade. Buildings in the back yard were constructed or moved there in the 1940's.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as one of the oldest recorded residences in Tustin. It is also significant because of its architecture and association with early Tustin residents. Originally purchased by Samuel Bailey and sold to several others later, the property was consolidated by the Truran family. The Turans owned several lots on this block of San Juan and the area was nicknamed Truranville by some Tustin residents.

Although the house is in a general state of disrepair and has an inappropriate addition on the front, it needs to be recognized as a very old building that reaches back almost to Tustin's buildings. The home exhibits unusual architectural features.

The building's character defining features include, but are not limited to:

- Front facing gable
- Two symmetrically placed framed double hung windows and molded cornice
- Wide shiplap siding and vent above the windows
- Porch on the lower level that has a hipped roof with enclosed eaves, wood posts with vertical cutouts and wood diagonal braces
- Front door centered with a large window

B11. Additional Resource Attributes: (HP2)—Single Family Property

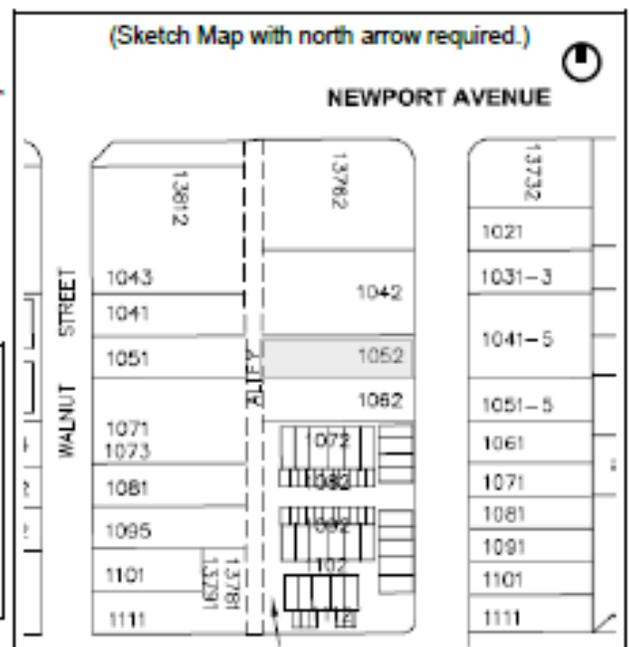
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 1281 SAN JUAN STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (416) 1281 San Juan Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built in 1920.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of California Bungalow style in Tustin. Although many of the original characteristics have survived - such as the front facing gable, wood trim and details. The building has been modified over the years.

The building's character defining features include, but are not limited to:

- front facing gable attached to a double hipped roof wing with vented laths in the upper pediment and two brackets below the open eaves
- double hipped section with a wrap around porch
- exposed rafters and a set of paired columns supporting the roof

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

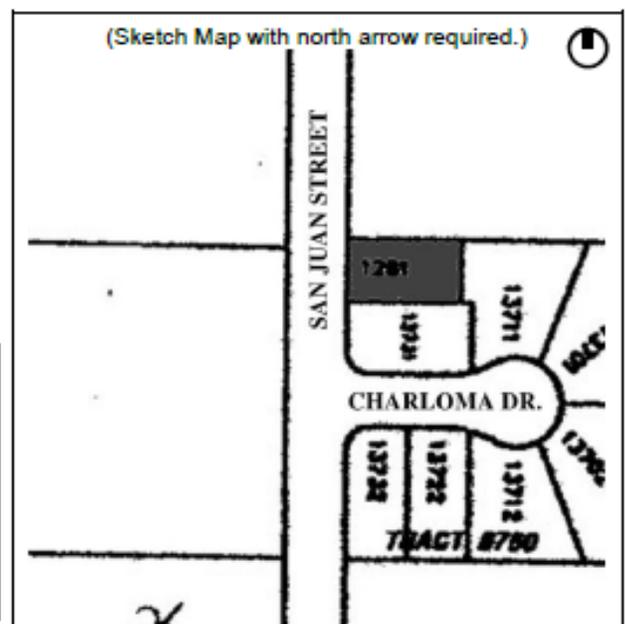
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 1400 BLOCK OF SAN JUAN STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5N

\*Resource Name or # (418) 1400 block of San Juan Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

These building were built between 1915 and 1935.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme Agricultural

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945 Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although modified over the years, these buildings have maintained their original characteristics and integrity. Much of what has survived are early examples of California Bungalow residences adapted to the agricultural Tustin setting.

Character defining features include, but are not limited to:

- Usually one story buildings
- Lower pitched gable roofs
- Contiguous gables facing the street
- Clapboard or stucco siding
- Exposed building elements
- Simple double hung or easement windows
- Larger front windows, sometimes in 3 parts
- Front porch and often gabled over porch area

B11. Additional Resource Attributes: (HP2)—Single Family Property

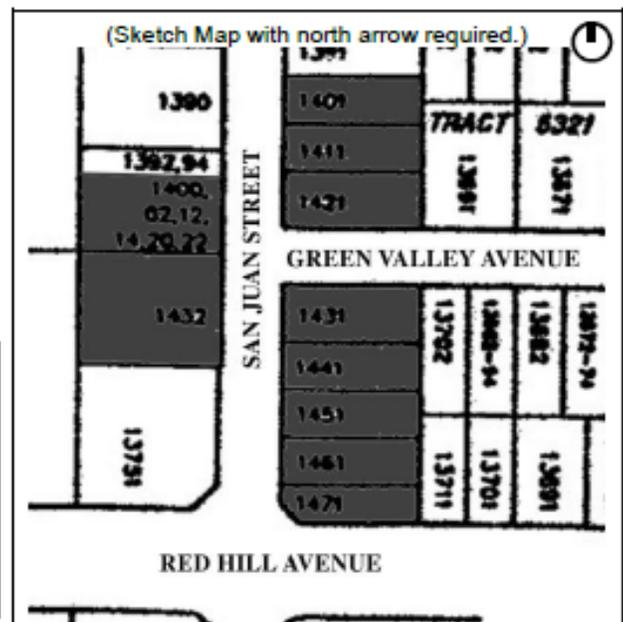
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 1901 WALNUT AVENUE



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (188): 1901 Walnut Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building was constructed in 1920.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single-storied building is significant as an example Spanish Colonial Revival style in Tustin.

This building's character defining features include, but are not limited to:

- "U" shaped configuration
- two front facing gables
- roof covered with red tiles and stucco exterior
- front facing gable front with a multi paned window in a curved frame
- other windows rectangular in form
- circular vent located about the curved window

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

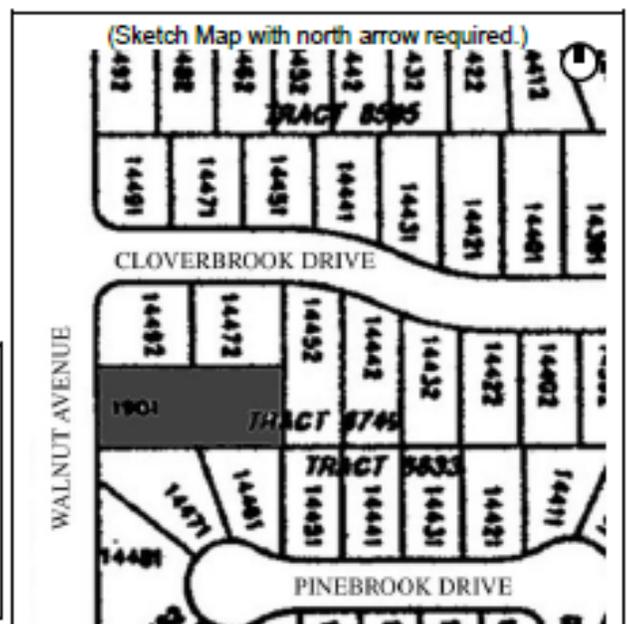
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 1082 WALNUT STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (154): 1082 Walnut Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: California Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

The building was constructed in 1920.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of California Bungalow architecture in Tustin.

The building's character defining features include, but are not limited to:

- two front facing gables and a hipped roof
- open eaves and exposed rafters
- entry porch with two square columns supporting the corners of an extended gable
- brackets placed at the top of the support column and exposed beam
- framed and multi paned windows
- horizontal siding on the exterior surface

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

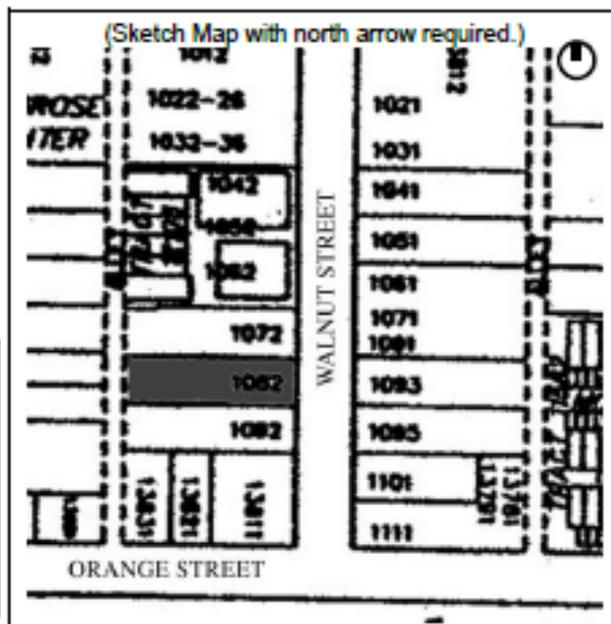
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 125 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (394) 125 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built in 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of the Spanish Colonial Revival style that was popular in Tustin during the 1920s.

The building's character defining features include, but are not limited to:

- front and side facing tiled gables
- pair of matching windows located on the front and side facing facades
- circular ornamental vent above the front gable double windows
- chimney located on the right side of the side gable
- stucco on the exterior surface

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

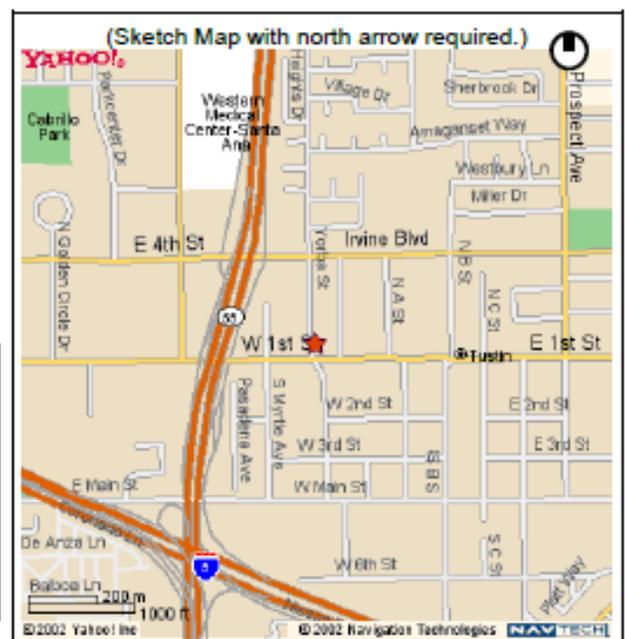
B13. Remarks

This building requires additional information and research to assess, fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 133 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (395) 133 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built in 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of the Spanish Colonial Revival style that was popular in Tustin during the 1920s. The building has the traditional clay tile roof, stucco exterior, arched columns that define an arcade entry, and chimney.

The building's character defining features include, but are not limited to:

- side and front facing tiled gables
- arch columns defining an arcade entry
- chimney constructed on the right side of the side facing gable
- stucco on the exterior surface

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

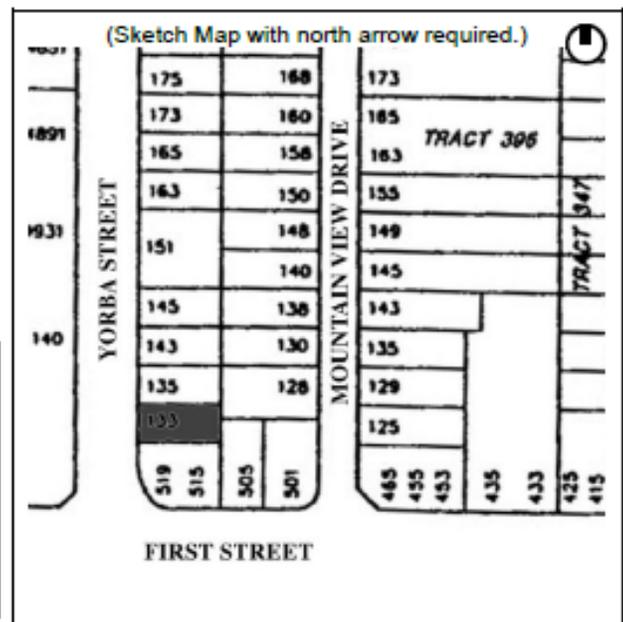
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 135 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (396) 135 Yorba Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was probably built in 1920s. However, a new terrace has been constructed.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This single storied building is significant as an example of the Spanish Colonial Revival style that was popular in Tustin during the 1920s. However, alterations impact the integrity of the building in the open porch area.

The building's character defining features include, but are not limited to:

- parapet front facade topped with tile
- side and front facing tiled gables
- low partition defining an outdoor entry area
- stucco on the exterior surface

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

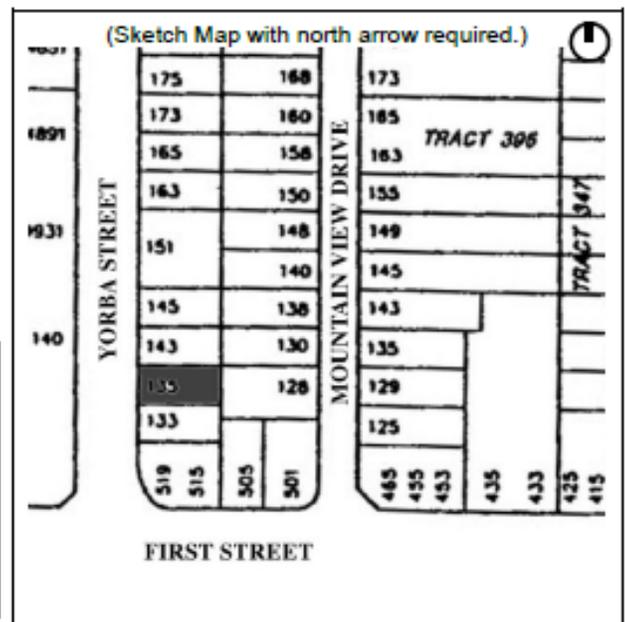
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBA West, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 143 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (397) 143 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was built in 1928.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Commercial

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this single storied building is significant for its Spanish Colonial Revival style that was popular in Tustin during the 1920s, the building has been substantially altered.

Surviving character defining features include, but are not limited to:

- one story building with stucco siding
- low pitched gable roof
- wingwall at one corner

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

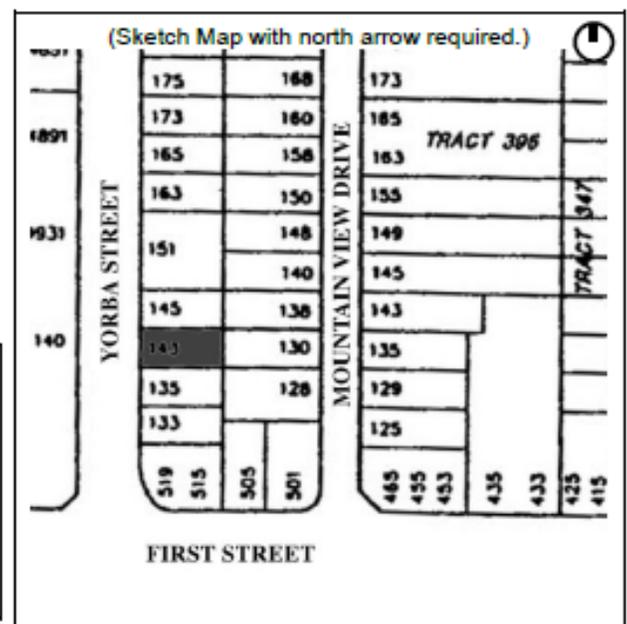
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 150 YORBA STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (149): 150 Yorba Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Mission & Craftsman Bungalow

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Rancher Andrew Morris built the eclectic Mission and Craftsman Bungalow styled building in 1921.

The use has been converted to commercial without destroying its exterior character-defining features. A new garage and parking lot are located behind the building.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as a surviving Mission and Craftsman styled building, rare in Orange County. The detailing and quality of construction adds to the significance. It is also important because of its association with rancher Andrew Morris. Arriving in Tustin in 1902 with his father in law, M. Morrison, Mr. Morris bought 20 acres at First and Yorba and planted orange trees. The house remained in the family until 1968.

B11. Additional Resource Attributes: (HP2)—Single Family Property

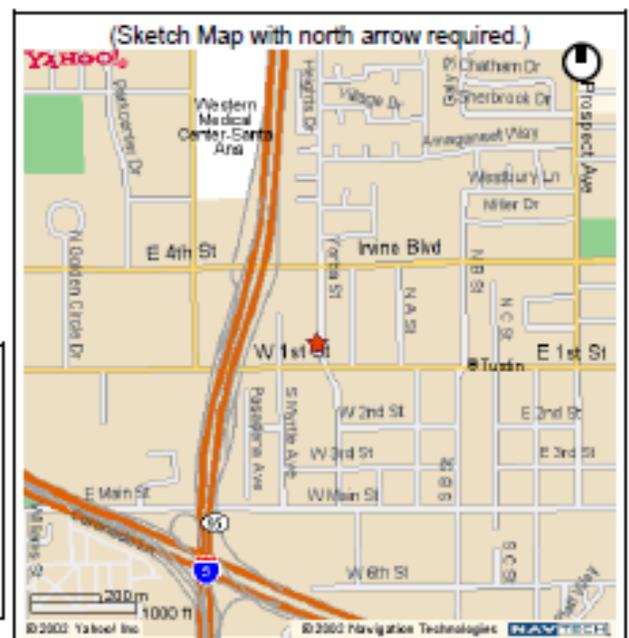
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (149) 150 Yorba St

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- elongated hipped roof features with enclosed eaves, a wide overhang, and pairs of carved Mission style brackets along the underside of the eaves
- building symmetry, centered with a large recessed porch with a shaped arch across the top
- solid stucco clad rails and piers, with concrete caps, that border the concrete porch floor
- pairs of casement windows, with a row of mullions across the top of each panel, placed on each side of the front door and match those used throughout the rest of the house
- massive front door made of vertical boards with three horizontal boards ornamented with large metal studs
- plate glass windows flanked by casement sidelights and topped with matching transoms, which occupy the spaces on each side of the centered north side

# 163 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (399) 163 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Spanish Colonial Revival modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The construction history of this property is unknown.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Commercial

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this single storied building may be significant as an example of the variety of buildings in Tustin, the building has been substantially altered.

The building's character defining features include, but are not limited to:

- front and side facing tiled gables
- arched entry with a shed tiled roof
- tapered walls at the entry and on the front facing gable
- double hung windows throughout the exterior with garland decorative ornaments above.
- stucco on exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

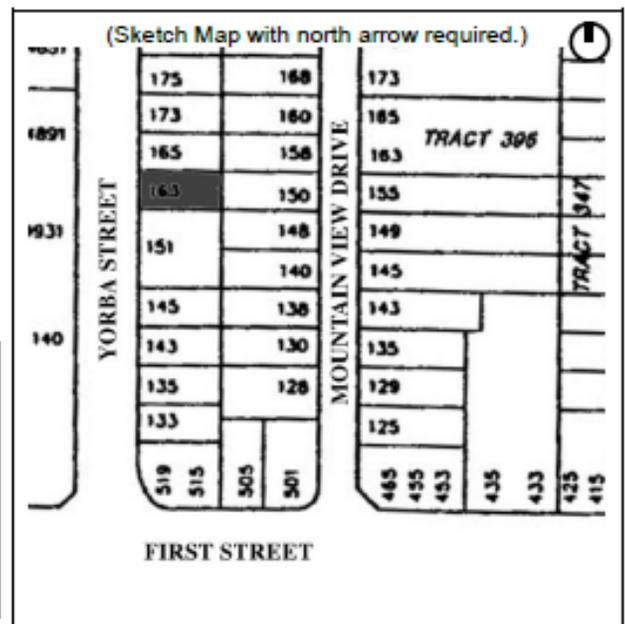
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 173 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5S3

\*Resource Name or # (401) 173 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Spanish Colonial Revival modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The construction history of this property is unknown.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this single storied building may be significant as a variant of the many Spanish Colonial Revival buildings in Tustin, it has been substantially altered and the integrity has been compromised.

The building's character defining features include, but are not limited to:

- front and side facing tiled gables
- framed, double hung multi paned windows located on the exterior walls
- chimney located on the right side of the side gable
- stucco on exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

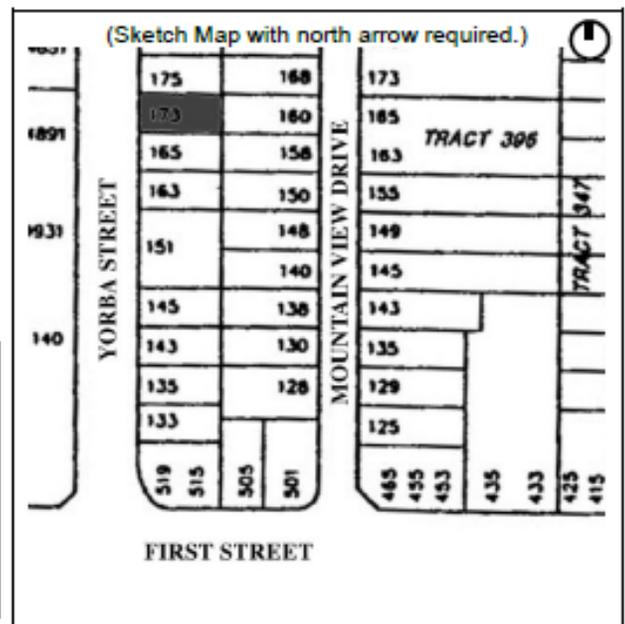
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 175 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (402) 175 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Spanish Colonial Revival modified

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The construction history of this property is unknown.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Although this single storied building is one of the varieties of Spanish Colonial Revival buildings in Tustin, substantial alterations have compromised its integrity.

The building's character defining features include, but are not limited to:

- front and side facing tiled gables
- framed, double hung windows located on the front facing exterior
- chimney on the right side of the side gable

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

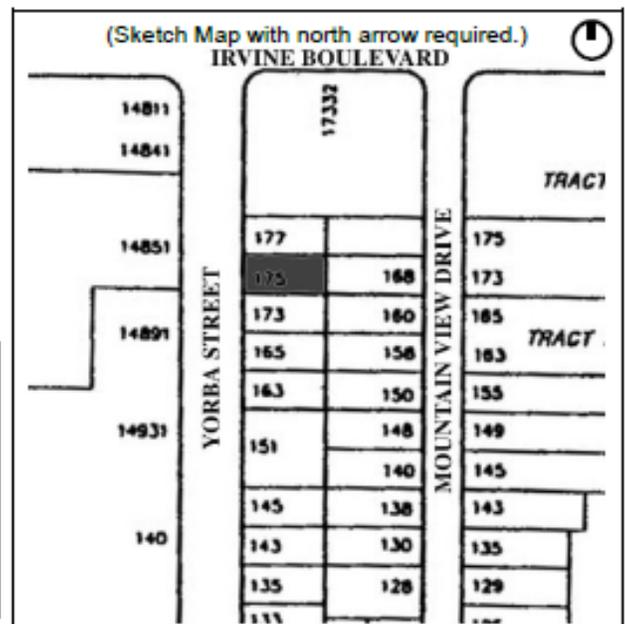
B13. Remarks

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 177 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 5D1

\*Resource Name or # (403) 177 Yorba

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Tract Ranch

\*B6. Construction History: (Construction date, alterations, and date of alterations)

This building was built prior to or around 1952.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder:

\*B10. Significance: Theme: Highway & Commuter Development, Post WWII Boom, Suburbanization

Area: Santa Ana-Tustin, CA

Period of Significance: 1945-1950

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building may be significant as an example of the transition to Tract Ranch architecture as the dominant form in Tustin.

As Tustin became a center of manufacturing for the World War II and post war defense effort and other economic consequences, tract houses were being built that would dominate the housing market for decades. New subdivision ordinances in California municipalities dictated width and turning radii of streets, size of blocks and requirements for developers. The ranch and similar post World War II styles fit into these subdivision regulations as the most widely distributed architectural style in southern California. Tract ranch style homes, such as this ell shaped building are typically small, one story buildings with a lower pitched roof.

The building's character defining features include, but are not limited to:

- hipped roof with extended overhang
- windows of various sizes throughout the exterior

B11. Additional Resource Attributes: (HP2)—Single Family Property

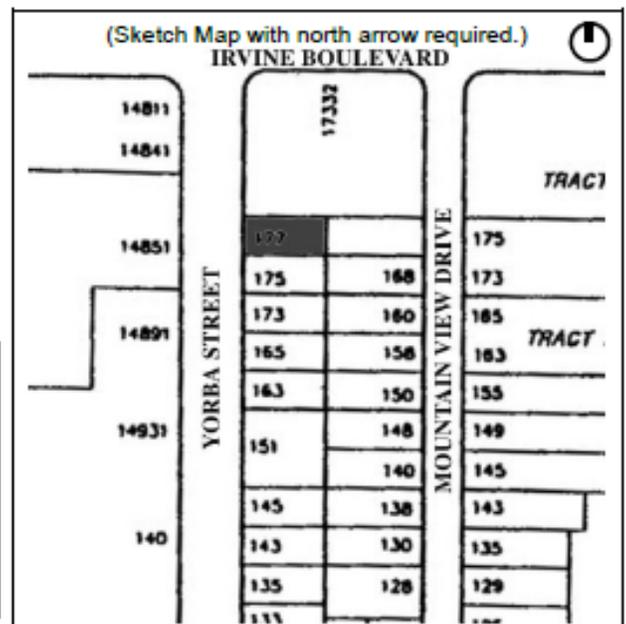
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; *Tustin: A City of Trees*, Carol H. Jordan, Heritage Media Corp. 1996.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 13711 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 2

\*NRHP Status Code: 5N

\*Resource Name or # (150): 13711 Yorba Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Limited information on the history of this single storied Colonial Revival building is available. The date of construction is estimated at around 1898. Wrought iron railing has been added to the front step.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1870-1899

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the Colonial Revival style in Tustin.

B11. Additional Resource Attributes: (HP2)—Single Family Property

\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

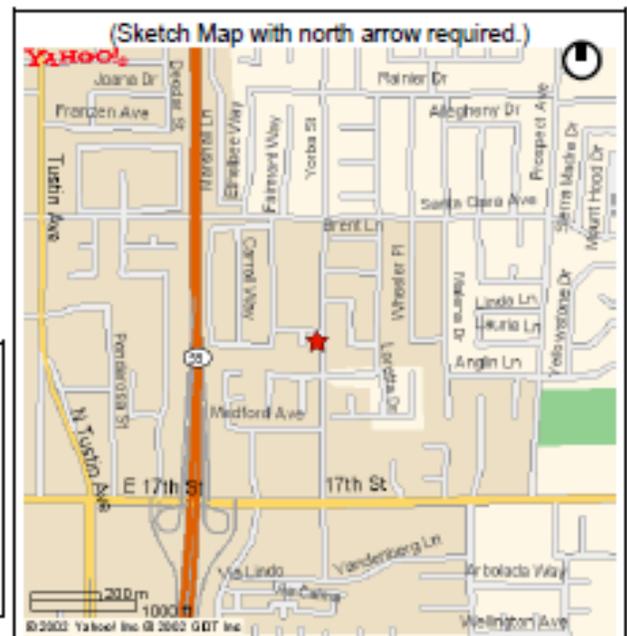
B13. Remarks:

This building requires additional information and research to assess fully, its significance.

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (150) 13711 Yorba St

Recorded by: TBA West, C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- narrow clapboard, trimmed with corner boards, and capped with a hipped roof and projecting front facing gabled roof
- eaves enclosed and gables and decorated with diamond shaped wood shingles, a delicate cutwork vent and curved bargeboards
- single double hung window centered below the front gable
- original wood paneled front door located in the south side of the gabled wing
- plate glass window, topped with a leaded glass transom, and a double hung window that is located in the front façade
- front step clad in brick and a new railing of wrought iron
- wrap around shed style porch supported by chamfer edged square wood posts connected by a railing with round balusters
- door at the west end of the porch featuring glass in the top half
- double hung windows throughout the exterior
- large board and batten garage in the rear
- small orange grove is also part of the property

# 14192 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 3S

\*Resource Name or # (151): 14192 Yorba Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

Herman Enderle built the house in 1904.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The house is significant primarily for its associations with the Enderle family, prominent local ranchers turned developers, and because it is representative of early 20<sup>th</sup> century growth patterns of this rich agricultural area. Herman Enderle was the owner of a foundry at Third and Main in Santa Ana. Enderle also owned a 20-acre ranch that was planted in walnuts and apricots, eventually extended to 40 acres (in oranges) by 1950.

The building's character defining features include, but are not limited to:

- bellcast-hipped roof with a front facing bellcast gabled porch on the south end of the front façade
- matching gable with carved triangular braces and a three-sectioned louvered vent located near the back of the south side
- narrow clapboard siding covering the exterior and a row of half timbering and a matching beam below which form a pattern across the bottom of the gable
- pairs of square wooden columns which support the porch roof
- front door flanked by sidelights
- large plate glass window on the south side of the porch, which has multi-paned casement sidelights.

B11. Additional Resource Attributes: (HP2)—Single Family Property

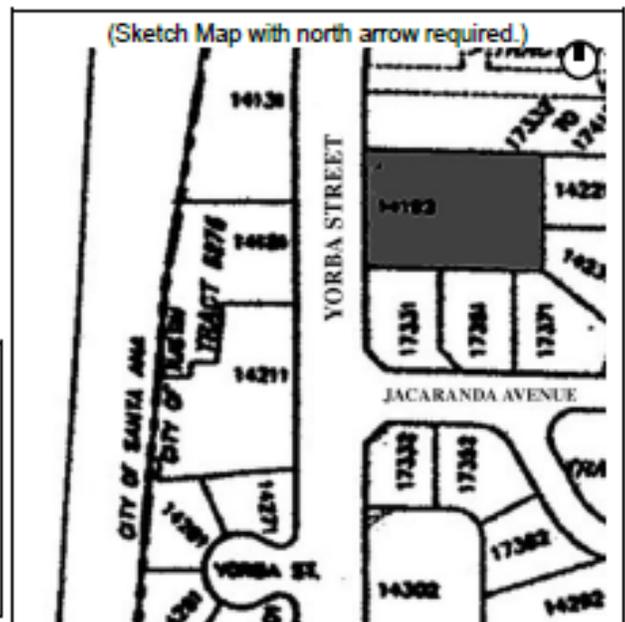
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



## 14302 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 1

\*NRHP Status Code: 3S

\*Resource Name or # (152): 14302 Yorba St

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1932.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture, Citrus Industry

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as an example of the large Tustin homes that dotted the countryside of orange trees, eucalyptus windbreaks, and large well kept yards; it is representative of the prosperity brought to Orange County by the citrus industry. It is also important because of its association with early Tustin resident, Theron Willis. Records indicate that Theron Willis, a sales manager for the California Spray Chemical Company, and his wife, Adah, owned this two storied Spanish Colonial Revival style house into the 1960s.

The building's character defining features include, but are not limited to:

- red clay tile clad roof ringed with carved rafter tails
- gabled roof located on the main section of the south end
- two telescoping single storied sections stretching to the north
- a double garage, with its double doors on the south side facade, located on the bottom half of the two storied section
- recessed multi-paned metal-framed windows that are used throughout the house
- a pair of ornate entrance gates, screening the front door, that are recessed in the center section

B11. Additional Resource Attributes: (HP2)—Single Family Property

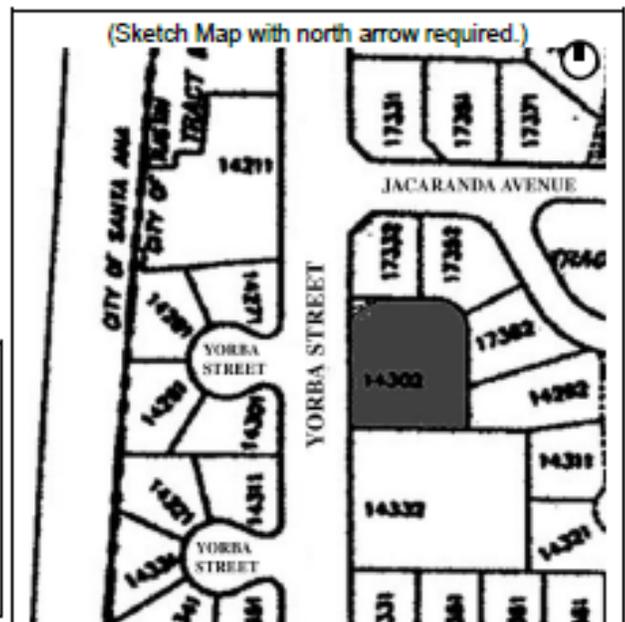
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



# 14332 YORBA STREET



See following pages for property information

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (153): 14332 Yorba St

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Residential

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in 1919.

The house was designed by W.W. Kays and was remodeled by Harry Hayden Whiteley in 1927.

The matching garage, located in the back on the North side, has been converted to a residence. A new porch has been added to the front of the house.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: W.W. Kays

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This building is significant as a fine Spanish Colonial Revival house with unique design elements, and associations with the Stevens family and prominent area architect W.W. Kays. Horace Stevens, rancher son of Tustin's wealthiest pioneers, Sherman Stevens, and wife, Florence, built this Spanish Colonial Revival home in 1919. Various families have occupied the house since. The setting includes a large garden along the front and several specimen trees and plants.

B11. Additional Resource Attributes: (HP2)—Single Family Property

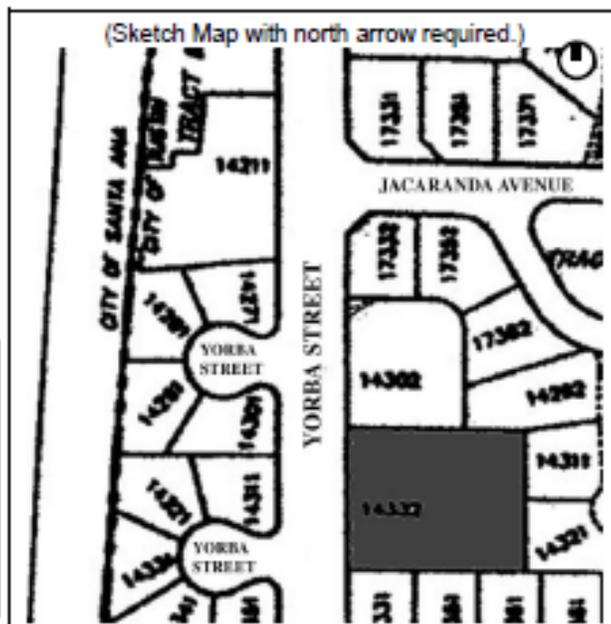
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

B13. Remarks

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (153) 14332 Yorba St

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- varied roof forms, consisting of flat roofs, unbroken parapets, square grills with latticework and large key shaped reliefs
- second floor stepping back from the first and forms a large open porch in the front
- pair of wrought iron grills above the main entrance, with hoods clad in red clay tile and flanked with a mission style parapet with red clay tile fringe
- large multi-paned glass window located to the south of the porch and another window on the north side
- second entrance, sheltered with a red clay tile clad roof, located on the north side

# 14841 YORBA STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 3S

\*Resource Name or # (155): 14841 Yorba Street

B1. Historic Name:

B2. Common Name:

B3. Original Use: Residential

B4. Present Use: Commercial

\*B5. Architectural Style: Colonial Revival

\*B6. Construction History: (Construction data, alterations, and date of alterations)

This building was constructed in the early 1920s.

A second story balcony and bridge leading to a matching office building in the back were added later, and a circular, brick parking lot was also installed. Reproduction period lights ring the parking lot. The fencing consists of latticework panels between large square posts with decorative balls on the top.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location:

\*B8. Related Features:

B9a. Architect: unknown

b. Builder: unknown

\*B10. Significance: Theme: Residential Architecture

Area: Santa Ana-Tustin, CA

Period of Significance: 1900-1945

Property Type: Residential

Applicable Criteria: B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The building is significant as an example of Tustin's Colonial Revival architecture. It also has associations with early Tustin residents. Built between 1921 and 1924 by Rancher Oakes B. Newcom and his wife, Daisy, this two storied Colonial Revival style building is currently being used as an office. However, the numerous alterations compromise the integrity of the original building.

B11. Additional Resource Attributes: (HP2)—Single Family Property

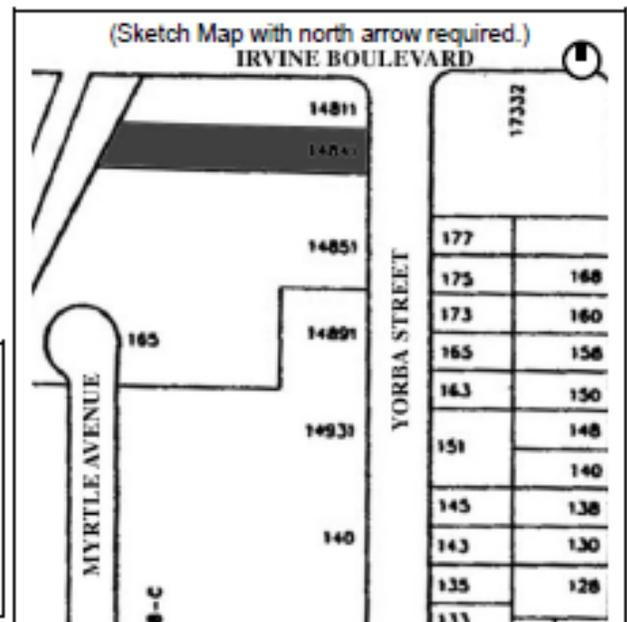
\*B12. References: *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; First American Title Company records; Directories; Jordan, Carol H., *The Landmark Trees of Tustin*, Tustin Area Historical Society.

B13. Remarks:

\*B14. Evaluator: TBAW, C. Jordan

\*Date of Evaluation: Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (155) 14841 Yorba St

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- front facing gabled dormers with multi-paned windows situated on the sides of the centered porch
- narrow clapboard with wide pilasters trimmed in molding which cover the exterior
- matching double hung windows forming a pattern along the front
- pair of large round classical Tuscan columns supporting the pedimented gabled porch roof, while a small pair supporting the second floor balcony is placed just inside the large set.
- balcony rails made of heavy carved balusters and rectangular molding trimmed piers
- front door with moldings in a complicated pattern and with multi-paned sidelights
- enclosed single story porch, also supported by round columns, with french doors across the front and delicate stained glass panels on either side of the round columns
- row of heavy carved balusters and piers, matching those on the front porch, and forming a border around the flat roof above
- shallow square bay with no windows located on the north side, near the front
- addition in the back of the house and a second story balcony, ringed with carved balusters. The addition matches the original house.
- second story bridge which leads to a matching office building in the back

# 14891 YORBA STREET



See following pages for property information

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 1 of 2

\*NRHP Status Code: 35

\*Resource Name or # (156) 14891 Yorba St.

B1. **Historic Name:** Chamber House

B2. **Common Name:**

B3. **Original Use:** Residential

B4. **Present Use:** Residential

\*B5. **Architectural Style:** Spanish Colonial

\*B6. **Construction History:** (Construction date, alterations, and date of alterations)

The building was constructed in 1930.

\*B7. **Moved?**  No  Yes  Unknown **Date:** \_\_\_\_\_ **Original Location:**

\*B8. **Related Features:**

B9a. **Architect:** unknown **b. Builder:** unknown

\*B10. **Significance: Theme:** Residential Architecture, Citrus Industry

**Area** Santa Ana-Tustin

**Period of Significance:** 1870-1945

**Property Type:** Residential

**Applicable Criteria:** A,C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This house is significant for multiple reasons. The first is for its architectural style and integrity. Several such homes once dotted the Tustin countryside, surrounded by orange trees, eucalyptus windbreaks and large yards. Built in 1930, the building's Colonial architectural detailing and landscaping have survived the demolition of other similar buildings from post World War II tract developments. In addition to its architectural significance, this property is significant because of being representative of the prosperity from Orange County's citrus industry after the depression.

B11. **Additional Resource Attributes:** (HP2)—Single Family Property

\*B12. **References:** Oral Interview w/ Frances W. Logan, March 9, 2002, *City of Tustin Historical Survey*, thirtieth street architects, inc., June, 1990; "The Landmark Trees of Tustin," Carol H. Jordan, Tustin Area Historical Society, 1997.

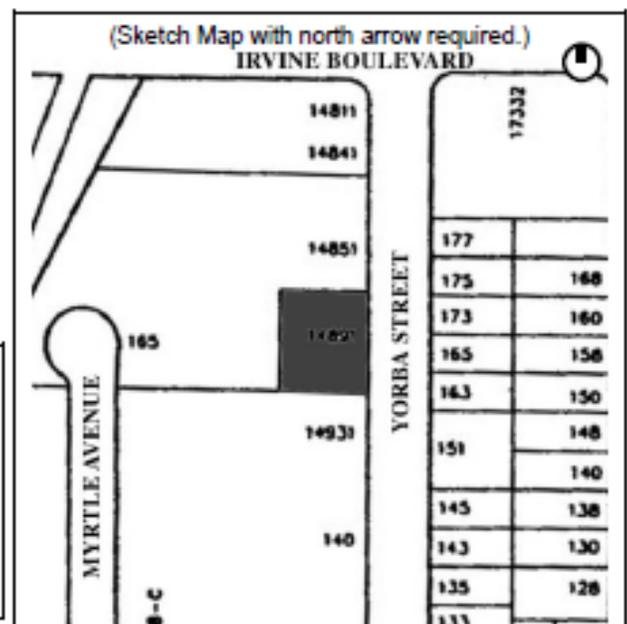
B13. **Remarks:**

This building requires additional information and research to assess, fully, its significance.

\*B14. **Evaluator:** TBAW, C. Jordan

\***Date of Evaluation:** Oct 2002

(This space reserved for official comments.)



Page 2 of 2

\*Resource Name or # (Assigned by recorder) (156) 14891 Yorba St

Recorded by: TBA West C. Jordan  
 Continuation  Update

Date: November 2002

The building's character defining features include, but are not limited to:

- round tower topped with a swan weathervane at the apex
- stucco clad
- conical tower roof and half round roof above the bay at the north end, both clad in red clay tiles; the circular tower with a crenelated frieze and lantern style light fixtures above the main entrance
- front door constructed of vertical wooden planks and accentuated by a small grill
- details such as a round stained glass window, multi paned metal framed casement windows and transoms
- low stucco clad wall which forms an entry courtyard parallel with the front of the building
- port cochere and the garage designed to complement the main building
- surrounding landscape that includes several specimens of trees and plants