



RED HILL AVENUE

SPECIFIC PLAN

DRAFT PROGRAM ENVIRONMENTAL IMPACT REPORT

Volume II



February 2018





RED HILL AVENUE SPECIFIC PLAN

DRAFT ENVIRONMENTAL IMPACT REPORT SCH NO. 2017041031

VOLUME II

Prepared for

City of Tustin
300 Centennial Way
Tustin, CA 92780

Prepared by

Kimley-Horn and Associates, Inc.
765 The City Drive, Suite 200
Orange, California 92868

Date

February 2018

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APPENDIX A

NOP AND CORRESPONDENCE



Notice of Preparation and Scoping Meeting Red Hill Avenue Specific Plan Program Environmental Impact Report

DATE: April 7, 2017

TO: Reviewing Agencies and Other Interested Parties

FROM: City of Tustin, Community Development Department, 300 Centennial Way, Tustin, CA 92780

PROJECT TITLE/SUBJECT: Red Hill Avenue Specific Plan – Notice of Preparation of a Program Environmental Impact Report (EIR) and Public Scoping Meeting

This Notice of Preparation (NOP) is being issued by the City of Tustin (City) to provide notice of the preparation of a Program EIR for the creation of a Specific Plan for a portion of Red Hill Avenue located within the City of Tustin.

Project Location: A portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

Project Description: The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 square feet of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 square feet of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 square feet of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

Pursuant to Public Resources Code Section 21165 and the California Environmental Quality Act Guidelines (CEQA Guidelines) Section 15050, the City of Tustin (City) is the Lead Agency responsible for preparation of a Program Environmental Impact Report (EIR) addressing potential impacts associated with the proposed Red Hill Avenue Specific Plan project.

The probable environmental effects of the project to be analyzed in the Program EIR include but are not necessarily limited to the following: aesthetics and visual resources, biological resources, geology and soils, hazards and hazardous materials, land use and planning, population and housing, recreation, utility and service systems, air quality, cultural resources, greenhouse gas emissions, hydrology and water quality, noise, public services, and transportation and circulation. Responses received to this NOP may modify or add to the preliminary assessment of potential issues addressed in the EIR.

REQUEST FOR COMMENTS ON THE SCOPE OF THE PROGRAM EIR

The purpose of this Notice of Preparation (NOP) is to solicit comments and suggestions regarding the scope and content of the Program EIR and the environmental issues and alternatives to be addressed in the EIR (CEQA Guidelines § 15082). This NOP also provides notice for the public scoping meeting. The City of Tustin respectfully requests that any Responsible or Trustee Agency responding to this notice reply in a manner consistent with State CEQA Guidelines Section 15082(b). Comments and suggestions should identify the significant environmental issues, reasonable alternatives, and mitigation measures that should be explored in the EIR, in addition to whether the responding agency will be a responsible or trustee agency for the proposed project.

NOTICE OF PREPARATION REVIEW PERIOD: April 7, 2017 to May 8, 2017

RESPONDING TO THIS NOTICE

The City requests your careful review and consideration of this notice, and invites input and comments from responsible and trustee agencies, and interested persons and organizations regarding the preparation of the EIR. Pursuant to CEQA Section 21080.4, agencies must submit any comments in response to this notice no later than **30 days after receipt of this notice**. The City will accept comments from all parties regarding this notice through the close of business on **May 8, 2017**. If comments are submitted by e-mail with attachments, it is recommended that the attachments be delivered in writing. Virus protection measures and a variety of formats for attachments can limit the ability for the attachments to be delivered. E-mail responses to this notice may be sent to EDemkowicz@tustinca.org.

All comments or other responses to this notice should be submitted in writing to:

Erica Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

The NOP is also available at the City of Tustin at the address and department noted above, and can also be accessed online at: <http://www.tustinca.org/depts/cd/planningupdate.asp>.

All parties that have submitted their names and mailing addresses will be notified of the availability of the Draft Program EIR. If you wish to be placed on the mailing list, have any questions, or need additional information, please contact the person identified above at edemkowicz@tustinca.org or at (714) 573-3127.

SCOPING MEETING: A public scoping meeting will be held on April 20, 2017, from 3:00 to 4:00 PM at the Clifton C. Miller Community Center, located at 300 Centennial Way, Tustin, CA 92780.



Elizabeth A. Binsack
Community Development Director

April 7, 2017

Date

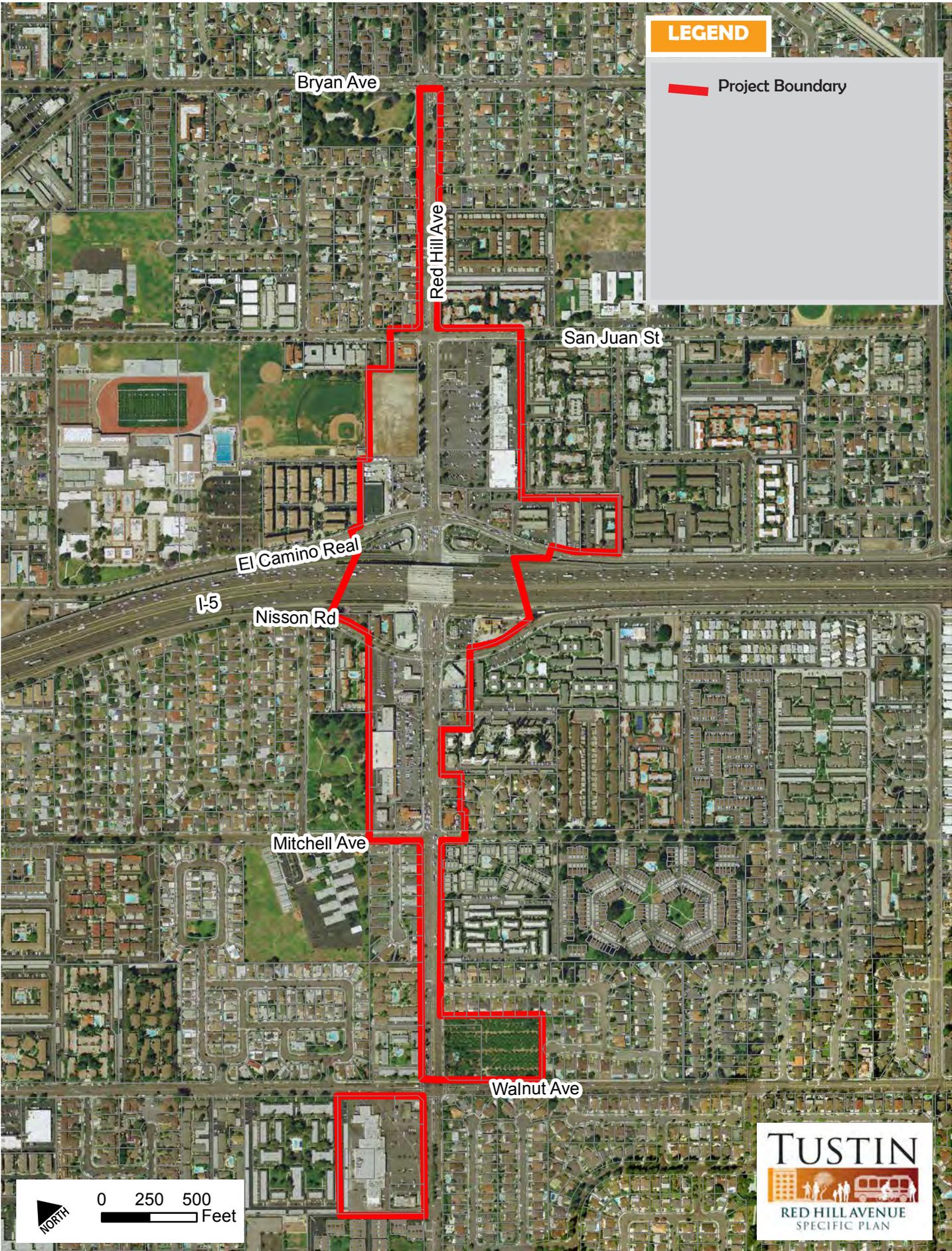


Figure 1: Red Hill Avenue Specific Plan Project Area

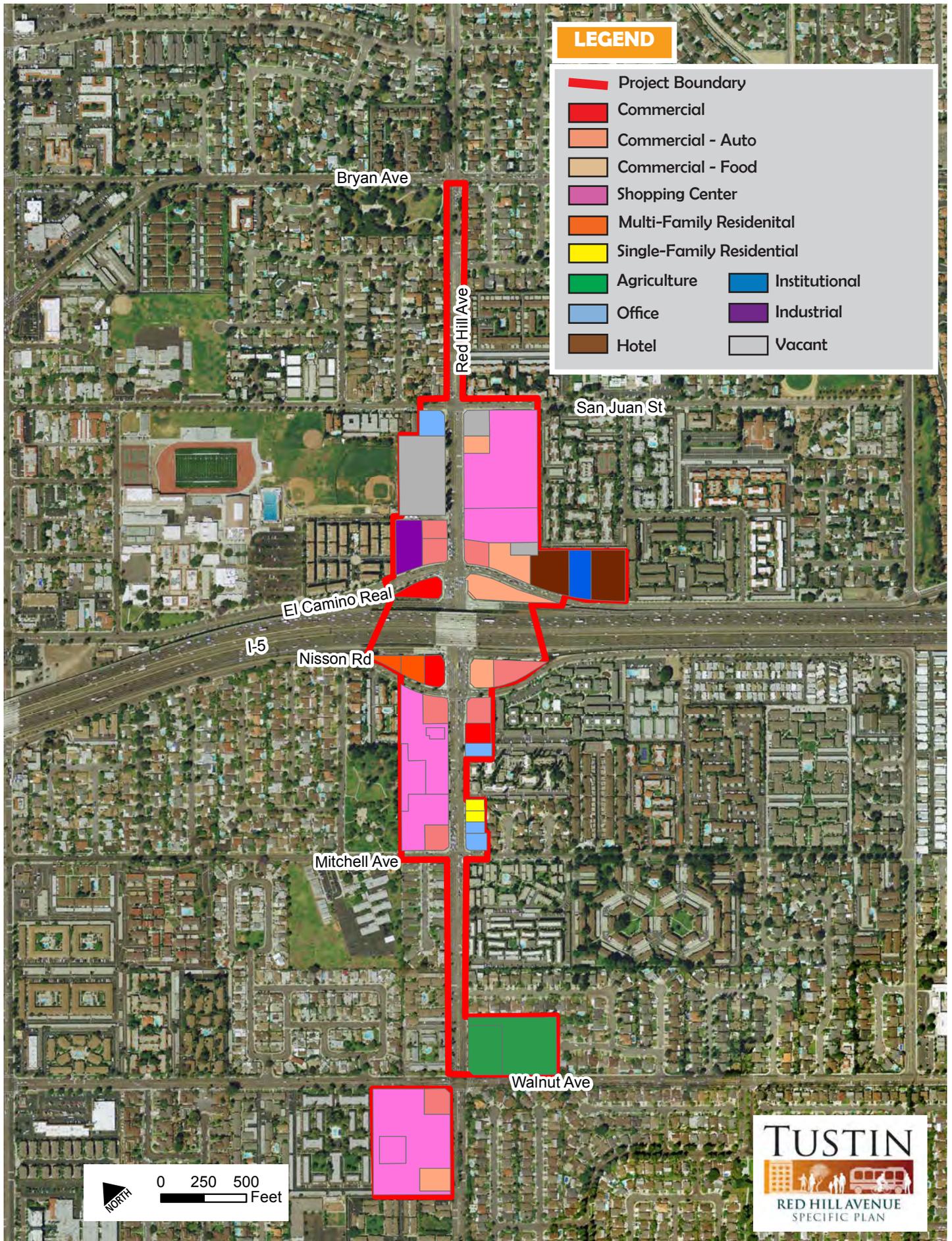


Figure 2: Existing Land Use

Red Hill Avenue Specific Plan

Bryan Ave to Walnut Ave

Legend

-  Red Hill Ave & Nisson Rd
-  Affected Project Areas



Google Earth

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NATIVE AMERICAN HERITAGE COMMISSION

1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691
Phone (916) 373-3710
Fax (916) 373-5471
Email: nahc@nahc.ca.gov
Website: <http://www.nahc.ca.gov>
Twitter: @CA_NAHC



April 13, 2017

Erica Demkowicz
City of Tustin
300 Centennial Way
Tustin, CA 92680

sent via e-mail to: edemkowicz@tustinca.org

RE: SCH# 2017041031; Red Hill Avenue Specific Plan Project, Orange County, California

Dear Ms. Demkowicz:

The Native American Heritage Commission has received the Notice of Preparation (NOP) for Draft Environmental Impact Report for the project referenced above. The California Environmental Quality Act (CEQA) (Pub. Resources Code § 21000 et seq.), specifically Public Resources Code section 21084.1, states that a project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. (Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, § 15064.5 (b) (CEQA Guidelines Section 15064.5 (b)). If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared. (Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd.(a)(1) (CEQA Guidelines § 15064 (a)(1)): In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended significantly in 2014. Assembly Bill 52 (Gatto, Chapter 532, Statutes of 2014) (AB 52) amended CEQA to create a **separate category of cultural resources**, "tribal cultural resources" (Pub. Resources Code § 21074) and provides that a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment (Pub. Resources Code § 21084.2). Please reference California Natural Resources Agency (2016) "Final Text for tribal cultural resources update to Appendix G: Environmental Checklist Form," <http://resources.ca.gov/ceqa/docs/ab52/Clean-final-AB-52-App-G-text-Submitted.pdf>. Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource. (Pub. Resources Code § 21084.3 (a)). **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** If your project involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space, on or after March 1, 2005, it may also be subject to Senate Bill 18 (Burton, Chapter 905, Statutes of 2004) (SB 18). **Both SB 18 and AB 52 have tribal consultation requirements.** If your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966 (154 U.S.C. 300101, 36 C.F.R. § 800 et seq.) may also apply.

The NAHC recommends **lead agencies consult with all California Native American tribes** that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources. Below is a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments. **Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.**

AB 52

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

1. Fourteen Day Period to Provide Notice of Completion of an Application/Decision to Undertake a Project: Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, to be accomplished by at least one written notice that includes:
 - a. A brief description of the project.
 - b. The lead agency contact information.
 - c. Notification that the California Native American tribe has 30 days to request consultation. (Pub. Resources Code § 21080.3.1 (d)).
 - d. A "California Native American tribe" is defined as a Native American tribe located in California that is on the contact list maintained by the NAHC for the purposes of Chapter 905 of Statutes of 2004 (SB 18). (Pub. Resources Code § 21073).
2. Begin Consultation Within 30 Days of Receiving a Tribe's Request for Consultation and Before Releasing a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report: A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project. (Pub. Resources Code § 21080.3.1, subs. (d) and (e)) and prior to the release of a negative declaration, mitigated negative declaration or environmental impact report. (Pub. Resources Code § 21080.3.1(b)).
 - a. For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code § 65352.4 (SB 18). (Pub. Resources Code § 21080.3.1 (b)).
3. Mandatory Topics of Consultation If Requested by a Tribe: The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:
 - a. Alternatives to the project.
 - b. Recommended mitigation measures.
 - c. Significant effects. (Pub. Resources Code § 21080.3.2 (a)).
4. Discretionary Topics of Consultation: The following topics are discretionary topics of consultation:
 - a. Type of environmental review necessary.
 - b. Significance of the tribal cultural resources.
 - c. Significance of the project's impacts on tribal cultural resources.
 - d. If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency. (Pub. Resources Code § 21080.3.2 (a)).
5. Confidentiality of Information Submitted by a Tribe During the Environmental Review Process: With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code sections 6254 (r) and 6254.10. Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public. (Pub. Resources Code § 21082.3 (c)(1)).
6. Discussion of Impacts to Tribal Cultural Resources in the Environmental Document: If a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document shall discuss both of the following:
 - a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
 - b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code section 21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource. (Pub. Resources Code § 21082.3 (b)).

7. Conclusion of Consultation: Consultation with a tribe shall be considered concluded when either of the following occurs:
- The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
 - A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached. (Pub. Resources Code § 21080.3.2 (b)).
8. Recommending Mitigation Measures Agreed Upon in Consultation in the Environmental Document: Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code section 21080.3.2 shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program, if determined to avoid or lessen the impact pursuant to Public Resources Code section 21082.3, subdivision (b), paragraph 2, and shall be fully enforceable. (Pub. Resources Code § 21082.3 (a)).
9. Required Consideration of Feasible Mitigation: If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, the lead agency shall consider feasible mitigation pursuant to Public Resources Code section 21084.3 (b). (Pub. Resources Code § 21082.3 (e)).
10. Examples of Mitigation Measures That, If Feasible, May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:
- Avoidance and preservation of the resources in place, including, but not limited to:
 - Planning and construction to avoid the resources and protect the cultural and natural context.
 - Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
 - Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - Protecting the cultural character and integrity of the resource.
 - Protecting the traditional use of the resource.
 - Protecting the confidentiality of the resource.
 - Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
 - Protecting the resource. (Pub. Resource Code § 21084.3 (b)).
 - Please note that a federally recognized California Native American tribe or a nonfederally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed. (Civ. Code § 815.3 (c)).
 - Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated. (Pub. Resources Code § 5097.991).
11. Prerequisites for Certifying an Environmental Impact Report or Adopting a Mitigated Negative Declaration or Negative Declaration with a Significant Impact on an Identified Tribal Cultural Resource: An environmental impact report may not be certified, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:
- The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code sections 21080.3.1 and 21080.3.2 and concluded pursuant to Public Resources Code section 21080.3.2.
 - The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
 - The lead agency provided notice of the project to the tribe in compliance with Public Resources Code section 21080.3.1 (d) and the tribe failed to request consultation within 30 days. (Pub. Resources Code § 21082.3 (d)).

This process should be documented in the Cultural Resources section of your environmental document.

The NAHC's PowerPoint presentation titled, "Tribal Consultation Under AB 52: Requirements and Best Practices" may be found online at: http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf

SB 18

SB 18 applies to local governments and requires **local governments** to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. (Gov. Code § 65352.3). Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf

Some of SB 18's provisions include:

1. **Tribal Consultation**: If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.** (Gov. Code § 65352.3 (a)(2)).
2. **No Statutory Time Limit on SB 18 Tribal Consultation**. There is no statutory time limit on SB 18 tribal consultation.
3. **Confidentiality**: Consistent with the guidelines developed and adopted by the Office of Planning and Research pursuant to Gov. Code section 65040.2, the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code sections 5097.9 and 5097.993 that are within the city's or county's jurisdiction. (Gov. Code § 65352.3 (b)).
4. **Conclusion of SB 18 Tribal Consultation**: Consultation should be concluded at the point in which:
 - a. The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - b. Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation. (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Agencies should be aware that neither AB 52 nor SB 18 precludes agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52 and SB 18. For that reason, we urge you to continue to request Native American Tribal Contact Lists and "Sacred Lands File" searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>

NAHC Recommendations for Cultural Resources Assessments

To adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources, the NAHC recommends the following actions:

1. Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - a. If part or all of the APE has been previously surveyed for cultural resources.
 - b. If any known cultural resources have been already been recorded on or adjacent to the APE.
 - c. If the probability is low, moderate, or high that cultural resources are located in the APE.
 - d. If a survey is required to determine whether previously unrecorded cultural resources are present.
2. If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - a. The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.

DEPARTMENT OF TRANSPORTATION

DISTRICT 12

1750 EAST FOURTH STREET, SUITE 100

SANTA ANA, CA 92705

PHONE (657) 328-6267

FAX (657) 328-6510

TTY 711

www.dot.ca.gov

*Serious Drought.
Making Conservation
a California Way of Life.*

May 08, 2017

Ms. Erica Demkowicz
City of Tustin
300 Centennial Way
Tustin, CA 92780

File: IGR/CEQA
SCH#: 2017041031
12-ORA-2017-00535
I-5

Dear Ms. Demkowicz,

Thank you for including the California Department of Transportation (Caltrans) in the review of the Notice of Preparation for an EIR (NOP) for the proposed Tustin Red Hill Specific Plan (SCH #2017041031). The mission of Caltrans is to provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability. The Local Development-Intergovernmental Review (LD-IGR) Program reviews land use projects and plans to ensure consistency with our mission and state planning priorities of infill, conservation, and efficient development.

The project establishes a comprehensive, mixed-use plan for a 40 acre area including approximately 500 residential units and 325,000 square feet of non-residential use. The project is located in proximity of Caltrans Right-of-Way (ROW) on Interstate 5 (I-5). Caltrans is a commenting agency on this project, and has the following comments on the NOP.

Traffic Operations:

1. Traffic Operations would like to request that the traffic study analyzes any impacts to the I-5 Northbound and Southbound on and off ramps from the planned development. Please use the most recent version of the Highway Design Manual (HDM).

Permits:

1. Any project work proposed in the vicinity of the State ROW would require an encroachment permit and all environmental concerns must be adequately addressed. If the environmental documentation for the project does not meet Caltrans's requirements for work done within State ROW, additional documentation would be required before approval of the encroachment permit. Please coordinate with Caltrans to meet requirements for any work within or near State Right-of-Way. For specific details for Encroachment Permits procedure, please refer to the Caltrans's Encroachment Permits Manual: <http://www.dot.ca.gov/hq/traffops/developserv/permits/>

Transportation Planning:

1. Please provide a vicinity map of the proposed land-use changes and provide square footage for each land-use type.

Ms. Demkowicz, City of Tustin
May 08, 2017
Page 2

2. Part of Caltrans' mission is to expand alternative and sustainable forms of transportation. There is currently a disconnect from the Class II Bike facilities on the Red Hill Avenue on Interstate 5 and other bike facilities on Bryan Avenue and Walnut Avenue. As such, Caltrans commends the city providing bikeways throughout the planning area and connecting to existing facilities. Caltrans would also like to recommend additional bicycle supporting facilities such as bike storage, bike signals, bike crossings, and dedicated bike delineation throughout the planning area.
3. The Specific Plan should consider improvements to existing or planned transit stops that make multimodal connections to transit easier, improve access to transit stops, and encourage use of transit.
4. 500 new residential units and 325,000 square feet of new non-residential development is anticipated within the Specific Plan. Creating access to multimodal transportation options in the Specific Plan area and area can help reduce vehicle trips, vehicle miles traveled, and greenhouse gas emissions reductions.

Please continue to keep us informed of this project and any future developments that could potentially impact State transportation facilities. If you have any questions or need to contact us, please do not hesitate to contact Jude Miranda at (657) 328-6229 or Jude.Miranda@dot.ca.gov.

Sincerely,

A handwritten signature in blue ink that reads "Maureen El Harake". The signature is written in a cursive style.

MAUREEN EL HARAKE
Branch Chief, Regional-IGR-Transit Planning
District 12



SOUTHERN CALIFORNIA
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May 8, 2017

Ms. Erica Demkowicz, AICP, Senior Planner
City of Tustin, Community Development Department
300 Centennial Way
Tustin, California 92780
Phone: (714) 573-3127
E-mail: edemkowicz@tustinca.org

**RE: SCAG Comments on the Notice of Preparation of a Draft Program
Environmental Impact Report for the Red Hill Avenue Specific Plan [SCAG NO.
IGR9220]**

Dear Ms. Demkowicz,

Thank you for submitting the Notice of Preparation of a Draft Environmental Impact Report for the Red Hill Avenue Specific Plan ("proposed project") to the Southern California Association of Governments (SCAG) for review and comment. SCAG is the authorized regional agency for Inter-Governmental Review (IGR) of programs proposed for Federal financial assistance and direct Federal development activities, pursuant to Presidential Executive Order 12372. Additionally, SCAG reviews the Environmental Impact Reports of projects of regional significance for consistency with regional plans pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines.

SCAG is also the designated Regional Transportation Planning Agency under state law, and is responsible for preparation of the Regional Transportation Plan (RTP) including the Sustainable Communities Strategy (SCS) pursuant to Senate Bill (SB) 375. As the clearinghouse for regionally significant projects per Executive Order 12372, SCAG reviews the consistency of local plans, projects, and programs with regional plans.¹ Guidance provided by these reviews is intended to assist local agencies such as local jurisdictions and project proponents to take actions that help contribute to the attainment of the regional goals and policies in the RTP/SCS.

SCAG staff has reviewed the Notice of Preparation of a Draft Environmental Impact Report for the Red Hill Avenue Specific Plan. The proposed project includes a Specific Plan that will plan for potential new growth in the area and includes the addition of approximately 500 residential units and 325,000 square feet of non-residential uses on 40 acres.

When available, please send environmental documentation to SCAG's office in Los Angeles or by email to au@scag.ca.gov providing, at a minimum, the full public comment period for review. If you have any questions regarding the attached comments, please contact the Inter-Governmental Review (IGR) Program, attn.: Anita Au, Assistant Regional Planner, at (213) 236-1874 or au@scag.ca.gov. Thank you.

Sincerely,

Ping Chang
Acting Manager, Compliance and Performance Monitoring

¹ Lead agencies such as local jurisdictions have the sole discretion in determining a local project's consistency with the 2016 RTP/SCS for the purpose of determining consistency for CEQA. Any "consistency" finding by SCAG pursuant to the IGR process should not be construed as a determination of consistency with the 2016 RTP/SCS for CEQA.

**COMMENTS ON THE NOTICE OF PREPARATION OF A
DRAFT ENVIRONMENTAL IMPACT REPORT FOR THE
RED HILL AVENUE SPECIFIC PLAN [SCAG NO. IGR9220]**

CONSISTENCY WITH RTP/SCS

SCAG reviews environmental documents for regionally significant projects for their consistency with the adopted RTP/SCS. For the purpose of determining consistency with CEQA, lead agencies such as local jurisdictions have the sole discretion in determining a local project's consistency with the RTP/SCS.

2016 RTP/SCS GOALS

The SCAG Regional Council adopted the 2016 RTP/SCS in April 2016. The 2016 RTP/SCS seeks to improve mobility, promote sustainability, facilitate economic development and preserve the quality of life for the residents in the region. The long-range visioning plan balances future mobility and housing needs with goals for the environment, the regional economy, social equity and environmental justice, and public health (see <http://scagrtpscs.net/Pages/FINAL2016RTPSCS.aspx>). The goals included in the 2016 RTP/SCS may be pertinent to the proposed project. These goals are meant to provide guidance for considering the proposed project within the context of regional goals and policies. Among the relevant goals of the 2016 RTP/SCS are the following:

SCAG 2016 RTP/SCS GOALS	
RTP/SCS G1:	<i>Align the plan investments and policies with improving regional economic development and competitiveness</i>
RTP/SCS G2:	<i>Maximize mobility and accessibility for all people and goods in the region</i>
RTP/SCS G3:	<i>Ensure travel safety and reliability for all people and goods in the region</i>
RTP/SCS G4:	<i>Preserve and ensure a sustainable regional transportation system</i>
RTP/SCS G5:	<i>Maximize the productivity of our transportation system</i>
RTP/SCS G6:	<i>Protect the environment and health for our residents by improving air quality and encouraging active transportation (e.g., bicycling and walking)</i>
RTP/SCS G7:	<i>Actively encourage and create incentives for energy efficiency, where possible</i>
RTP/SCS G8:	<i>Encourage land use and growth patterns that facilitate transit and active transportation</i>
RTP/SCS G9:	<i>Maximize the security of the regional transportation system through improved system monitoring, rapid recovery planning, and coordination with other security agencies*</i>

*SCAG does not yet have an agreed-upon security performance measure.

For ease of review, we encourage the use of a side-by-side comparison of SCAG goals with discussions of the consistency, non-consistency or non-applicability of the goals and supportive analysis in a table format. Suggested format is as follows:

SCAG 2016 RTP/SCS GOALS	
Goal	Analysis
RTP/SCS G1: <i>Align the plan investments and policies with improving regional economic development and competitiveness</i>	<i>Consistent: Statement as to why; Not-Consistent: Statement as to why; Or Not Applicable: Statement as to why; DEIR page number reference</i>
RTP/SCS G2: <i>Maximize mobility and accessibility for all people and goods in the region</i>	<i>Consistent: Statement as to why; Not-Consistent: Statement as to why; Or Not Applicable: Statement as to why; DEIR page number reference</i>
etc.	etc.

2016 RTP/SCS STRATEGIES

To achieve the goals of the 2016 RTP/SCS, a wide range of land use and transportation strategies are included in the 2016 RTP/SCS. Technical appendances of the 2016 RTP/SCS provide additional supporting information in detail. To view the 2016 RTP/SCS, please visit: <http://scagrtpscs.net/Pages/FINAL2016RTPSCS.aspx>. The 2016 RTP/SCS builds upon the progress from the 2012 RTP/SCS and continues to focus on integrated, coordinated, and balanced planning for land use and transportation that the SCAG region strives toward a more sustainable region, while the region meets and exceeds in meeting all of applicable statutory requirements pertinent to the 2016 RTP/SCS. These strategies within the regional context are provided as guidance for lead agencies such as local jurisdictions when the proposed project is under consideration.

DEMOGRAPHICS AND GROWTH FORECASTS

Local input plays an important role in developing a reasonable growth forecast for the 2016 RTP/SCS. SCAG used a bottom-up local review and input process and engaged local jurisdictions in establishing the base geographic and socioeconomic projections including population, household and employment. At the time of this letter, the most recently adopted SCAG jurisdictional-level growth forecasts that were developed in accordance with the bottom-up local review and input process consist of the 2020, 2035, and 2040 population, households and employment forecasts. To view them, please visit <http://www.scag.ca.gov/Documents/2016GrowthForecastByJurisdiction.pdf>. The growth forecasts for the region and applicable jurisdictions are below.

	Adopted SCAG Region Wide Forecasts			Adopted City of Tustin Forecasts		
	Year 2020	Year 2035	Year 2040	Year 2020	Year 2035	Year 2040
Population	19,663,000	22,091,000	22,138,800	81,800	83,100	83,000
Households	6,458,000	7,325,000	7,412,300	27,200	27,800	27,900
Employment	8,414,000	9,441,000	9,871,500	51,800	64,600	66,400

MITIGATION MEASURES

SCAG staff recommends that you review the Final Program Environmental Impact Report (Final PEIR) for the 2016 RTP/SCS for guidance, as appropriate. SCAG's Regional Council certified the Final PEIR and adopted the associated Findings of Fact and a Statement of Overriding Considerations (FOF/SOC) and Mitigation Monitoring and Reporting Program (MMRP) on April 7, 2016 (please see: <http://scagrtpscs.net/Pages/FINAL2016PEIR.aspx>). The Final PEIR includes a list of project-level performance standards-based mitigation measures that may be considered for adoption and implementation by lead, responsible, or trustee agencies in the region, as applicable and feasible. Project-level mitigation measures are within responsibility, authority, and/or jurisdiction of project-implementing agency or other public agency serving as lead agency under CEQA in subsequent project- and site- specific design, CEQA review, and decision-making processes, to meet the performance standards for each of the CEQA resource categories.



April 26, 2017

Ms. Erica Demokowicz
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

Subject: Red Hill Avenue Specific Plan – Notice of Preparation of a Program Environmental Impact Report (EIR) and Public Scoping Meeting

Dear Ms. Demokowicz:

City of Irvine staff reviewed the Notice of Preparation (NOP) for the Red Hill Avenue Specific Plan in Tustin. The project area encompasses 40 acres and will extend from Bryan Avenue at the north to Walnut at the south. The project proposes to establish a comprehensive plan consisting of residential, retail and commercial land uses, including approximately 500 residential units and 325,000 square feet of non-residential uses.

Staff offers the following recommendations for the traffic impact analysis that will be prepared as part of this project:

- 1) Include the following intersections below in the study area:
 - Redhill Avenue from Irvine Boulevard south to MacArthur Boulevard.
 - Irvine Boulevard at Newport, Browning and Tustin Ranch Road.
 - Bryan Avenue at Newport, Browning and Tustin Ranch Road.

These study locations are located in the City of Irvine's IBC Vision Plan and North Irvine Transportation Mitigation (NITM) Program traffic study area.

- 2) Identify the increase in trips from the existing land uses to the proposed land uses.
- 3) Please coordinate with Peter Anderson, Senior Transportation Analyst, to utilize the most recent version of the ITAM model for baseline 2017 and buildout P2035.

Ms. Demokowicz
April 26, 2017
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Thank you for the opportunity to review the NOP, we look forward to receiving a copy of the draft EIR when it becomes available for review. If you have any questions, you may contact me at 949-724-6364 or by email at jequina@cityofirvine.org.

Sincerely,



Justin Equina
Associate Planner

cc: Bill Jacobs, Principal Planner
Kerwin Lau, Project Development Administrator
Sun-Sun Murillo, Supervising Transportation Analyst
Peter Anderson, Senior Transportation Analyst



May 8, 2017

Ms. Erica Demkowicz ACIP
Senior Planner
City of Tustin
Community Development Director
300 Centennial Way
Tustin, CA 92780

Re: NOP – Red Hill Avenue Specific Plan Program EIR

Dear Ms. Demkowicz:

Irvine Ranch Water District (IRWD) has received the City of Tustin's Notice of Preparation (NOP) for the Red Hill Avenue Specific Plan Program Environmental Impact Report (PEIR). IRWD has reviewed the NOP and offers the following comments.

The Red Hill Avenue Specific Plan area is immediately adjacent to IRWD's boundary area. Since future development projects may impact District facilities, IRWD will require the developer to coordinate with IRWD staff. Prior to development plan submittal and approval, the developer shall coordinate with IRWD to develop a technical memorandum or Sub-Area Master Plan (SAMP) Addendum, identifying potential impacts to the potable, recycled, and sewer systems from this project. Please contact Eric Akiyoshi at (949) 453-5552 to discuss the technical memorandum or SAMP Addendum for this area.

IRWD appreciates the opportunity to review and comment on the NOP. IRWD looks forward to reviewing the draft PEIR when it is completed and ready for public review. If you have any questions or require additional information, please contact the undersigned or Jo Ann Corey, Engineering Technician III at (949) 453-5326.

Sincerely,

A handwritten signature in black ink, appearing to read "Fiona M. Sanchez". The signature is written in a cursive, flowing style.

Fiona M. Sanchez
Director of Water Resources

cc: Eric Akiyoshi, IRWD
Jo Ann Corey, IRWD

May 5, 2017

NCL-2017-030

Erica Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

Subject: Notice of Preparation Red Hill Specific Plan PEIR

Dear Erica Demkowicz:

Thank you for the opportunity to comment on the project. The County of Orange offers the following comments on the Notice of Preparation Red Hill Specific Plan PEIR.

OC Infrastructure Programs/Flood Program Support Division review offers the following comments for your consideration:

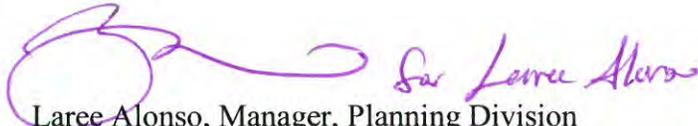
1. Implementation of the Red Hill Specific Plan has the potential to increase the rate and amount of runoff in comparison with the existing condition and the additional runoff could exceed the capacity of existing storm drain systems serving the project area. This should be addressed in the PEIR and mitigation measures recommended as appropriate.
2. It appears that runoff from the project area ultimately drains into either the El Modena-Irvine Channel (OCFCD Facility No. F07) or the Santa Ana-Santa Fe Channel (OCFCD Facility No. F10). While these regional facilities are not directly impacted by the proposed project, downstream segments of these facilities are deficient and adjacent areas to these facilities are designated special flood hazard areas in FEMA's FIRM Map Panel Nos. 0281J and 0279J. Existing conditions along F07 and F10, and areas adjacent to or within downstream floodplains depicted on FEMA FIRM maps should not be made worse as a result of the project.
3. Since the City of Tustin (City) is responsible for land use planning and development within City limits, the City should review and approve all local hydrology and hydraulic analyses including the needed 100-year flood protection for proposed developments within the project area. Proposed flood protection measures should not worsen existing conditions or shift flooding problems elsewhere.

4. Hydrology and hydraulic analyses should be performed based on the criteria of the Orange County Hydrology Manual (OCHM), Addendum No. 1 to the OCHM, and the Orange County Flood Control Design Manual.

If you have any questions regarding these comments, please contact me at (714) 647-3951 or Editha Llanes at (714) 647-3985.

If you have any questions regarding these comments, please contact Editha Llanes at (714) 647-3985 or Robert McLean at (714) 647-3951 in Flood Programs or Linda Smith at (714) 667-8848 in Development Services.

Sincerely,



Laree Alonso, Manager, Planning Division
OC Public Works Service Area/OC Development Services
300 North Flower Street
Santa Ana, California 92702-4048
Laree.alonso@ocpw.ocgov.com

cc: Editha Llanes, OC Flood Programs
Robert McLean, OC Flood Programs



THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

May 8, 2017

Via Email and Regular Mail

Ms. Erica Demkowicz AICP, Senior Planner
Community Development Department, City of Tustin
300 Centennial Way
Tustin, CA 92780

Dear Ms. Demkowicz:

**Review of the Notice of Preparation
for the Red Hill Avenue Specific Plan Program Environmental Impact Report**

The Metropolitan Water District of Southern California (Metropolitan) has reviewed the Notice of Preparation for the Red Hill Avenue Specific Plan Program Environmental Impact Report in the city of Tustin, California. The specific plan would provide for the potential addition of approximately 500 residential units and 325,000 square feet of non-residential units within a 40-acre footprint. The City of Tustin is acting as the California Environmental Quality Act (CEQA) Lead Agency. This letter contains Metropolitan's comments as a potentially affected public agency. Metropolitan is a public agency and regional water wholesaler. It is comprised of 26 member public agencies serving approximately 19 million people in portions of six counties in Southern California.

Based on a review of the proposed project, the project has potential to impact Metropolitan's East Orange County Feeder 2 which is 79-inch-diameter pipeline. The pipeline is located along Walnut and Red Hill avenues, parallel to the project area (see attached map). Metropolitan must be allowed to maintain its rights-of-way and requires unobstructed access to its facilities in order to maintain and repair its system. In order to avoid potential conflicts with Metropolitan's facilities and rights-of-way, we require that any design plans for any activity in the area of Metropolitan's pipelines or facilities be submitted for our review and written approval. Metropolitan will not permit procedures that could subject the pipeline to excessive vehicle, impact or vibratory loads. Any future design plans associated with this project should be submitted to the attention of Metropolitan's Substructures Team. Approval of the project should be contingent on Metropolitan's approval of design plans for portions of the proposed project that could impact its facilities.

Detailed prints of drawings of Metropolitan's pipelines and rights-of-way may be obtained by calling Metropolitan's Substructures Information Line at (213) 217-7516. To assist the applicant in preparing plans that are compatible with Metropolitan's facilities and easements, we have enclosed a copy of the "Guidelines for Developments in the Area of Facilities, Fee Properties,

Ms. Erica Demkowicz AICP, Senior Planner

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May 8, 2017

and/or Easement of The Metropolitan Water District of Southern California.” Please note that all submitted designs or plans must clearly identify Metropolitan’s facilities and rights-of-way.

We appreciate the opportunity to provide input to your planning process and we look forward to receiving future documentation and plans for this project. For further assistance, please contact Ms. Diane Doesserich at (213) 217-58787. Please direct all future environmental documents and correspondence to the following address and email:

Attention: MWD Environmental Planning Section
700 North Alameda Street
Los Angeles, CA 90012
ep@mwdh2o.com

Very truly yours,



Jennifer Harriger
Interim Team Manager, Environmental Planning Section

DD

Enclosures: Planning Guidelines and Map of Metropolitan Facilities in Project Vicinity

Guidelines for Developments in the
Area of Facilities, Fee Properties, and/or Easements
of The Metropolitan Water District of Southern California

1. Introduction

a. The following general guidelines should be followed for the design of proposed facilities and developments in the area of Metropolitan's facilities, fee properties, and/or easements.

b. We require that 3 copies of your tentative and final record maps, grading, paving, street improvement, landscape, storm drain, and utility plans be submitted for our review and written approval as they pertain to Metropolitan's facilities, fee properties and/or easements, prior to the commencement of any construction work.

2. Plans, Parcel and Tract Maps

The following are Metropolitan's requirements for the identification of its facilities, fee properties, and/or easements on your plans, parcel maps and tract maps:

a. Metropolitan's fee properties and/or easements and its pipelines and other facilities must be fully shown and identified as Metropolitan's on all applicable plans.

b. Metropolitan's fee properties and/or easements must be shown and identified as Metropolitan's with the official recording data on all applicable parcel and tract maps.

c. Metropolitan's fee properties and/or easements and existing survey monuments must be dimensionally tied to the parcel or tract boundaries.

d. Metropolitan's records of surveys must be referenced on the parcel and tract maps.

3. Maintenance of Access Along Metropolitan's Rights-of-Way

a. Proposed cut or fill slopes exceeding 10 percent are normally not allowed within Metropolitan's fee properties or easements. This is required to facilitate the use of construction and maintenance equipment, and provide access to its aboveground and belowground facilities.

b. We require that 16-foot-wide commercial-type driveway approaches be constructed on both sides of all streets crossing Metropolitan's rights-of-way. Openings are required in any median island. Access ramps, if necessary, must be at least 16-feet-wide. Grades of ramps are normally not allowed to exceed 10 percent. If the slope of an access ramp must exceed 10 percent due to the topography, the ramp must be paved. We require a 40-foot-long level area on the driveway approach to access ramps where the ramp meets the street. At Metropolitan's fee properties, we may require fences and gates.

c. The terms of Metropolitan's permanent easement deeds normally preclude the building or maintenance of structures of any nature or kind within its easements, to ensure safety and avoid interference with operation and maintenance of Metropolitan's pipelines or other facilities. Metropolitan must have vehicular access along the easements at all times for inspection, patrolling, and for maintenance of the pipelines and other facilities on a routine basis. We require a 20-foot-wide clear zone around all above-ground facilities for this routine access. This clear zone should slope away from our facility on a grade not to exceed 2 percent. We must also have access along the easements with construction equipment. An example of this is shown on Figure 1.

d. The footings of any proposed buildings adjacent to Metropolitan's fee properties and/or easements must not encroach into the fee property or easement or impose additional loading on Metropolitan's pipelines or other facilities therein. A typical situation is shown on Figure 2. Prints of the detail plans of the footings for any building or structure adjacent to the fee property or easement must be submitted for our review and written approval as they pertain to the pipeline or other facilities therein. Also, roof eaves of buildings adjacent to the easement or fee property must not overhang into the fee property or easement area.

e. Metropolitan's pipelines and other facilities, e.g. structures, manholes, equipment, survey monuments, etc. within its fee properties and/or easements must be protected from damage by the easement holder on Metropolitan's property or the property owner where Metropolitan has an easement, at no expense to Metropolitan. If the facility is a cathodic protection station it shall be located prior to any grading or excavation. The exact location, description and way of protection shall be shown on the related plans for the easement area.

4. Easements on Metropolitan's Property

a. We encourage the use of Metropolitan's fee rights-of-way by governmental agencies for public street and utility purposes, provided that such use does not interfere with Metropolitan's use of the property, the entire width of the property is accepted into the agency's public street system and fair market value is paid for such use of the right-of-way.

b. Please contact the Director of Metropolitan's Right of Way and Land Division, telephone (213) 250-6302, concerning easements for landscaping, street, storm drain, sewer, water or other public facilities proposed within Metropolitan's fee properties. A map and legal description of the requested easements must be submitted. Also, written evidence must be submitted that shows the city or county will accept the easement for the specific purposes into its public system. The grant of the easement will be subject to Metropolitan's rights to use its land for water pipelines and related purposes to the same extent as if such grant had not been made. There will be a charge for the easement. Please note that, if entry is required on the property prior to issuance of the easement, an entry permit must be obtained. There will also be a charge for the entry permit.

5. Landscaping

Metropolitan's landscape guidelines for its fee properties and/or easements are as follows:

a. A green belt may be allowed within Metropolitan's fee property or easement.

b. All landscape plans shall show the location and size of Metropolitan's fee property and/or easement and the location and size of Metropolitan's pipeline or other facilities therein.

c. Absolutely no trees will be allowed within 15 feet of the centerline of Metropolitan's existing or future pipelines and facilities.

d. Deep-rooted trees are prohibited within Metropolitan's fee properties and/or easements. Shallow-rooted trees are the only trees allowed. The shallow-rooted trees will not be permitted any closer than 15 feet from the centerline of the pipeline, and such trees shall not be taller than 25 feet with a root spread no greater than 20 feet in diameter at maturity. Shrubs, bushes, vines, and ground cover are permitted, but larger shrubs and bushes should not be planted directly over our pipeline. Turf is acceptable. We require submittal of landscape plans for Metropolitan's prior review and written approval. (See Figure 3).

e. The landscape plans must contain provisions for Metropolitan's vehicular access at all times along its rights-of-way to its pipelines or facilities therein. Gates capable of accepting Metropolitan's locks are required in any fences across its rights-of-way. Also, any walks or drainage facilities across its access route must be constructed to AASHTO H-20 loading standards.

f. Rights to landscape any of Metropolitan's fee properties must be acquired from its Right of Way and Land Division. Appropriate entry permits must be obtained prior to any entry on its property. There will be a charge for any entry permit or easements required.

6. Fencing

Metropolitan requires that perimeter fencing of its fee properties and facilities be constructed of universal chain link, 6 feet in height and topped with 3 strands of barbed wire angled upward and outward at a 45 degree angle or an approved equal for a total fence height of 7 feet. Suitable substitute fencing may be considered by Metropolitan. (Please see Figure 5 for details).

7. Utilities in Metropolitan's Fee Properties and/or Easements or Adjacent to Its Pipeline in Public Streets

Metropolitan's policy for the alinement of utilities permitted within its fee properties and/or easements and street rights-of-way is as follows:

a. Permanent structures, including catch basins, manholes, power poles, telephone riser boxes, etc., shall not be located within its fee properties and/or easements.

b. We request that permanent utility structures within public streets, in which Metropolitan's facilities are constructed under the Metropolitan Water District Act, be placed as far from our pipeline as possible, but not closer than 5 feet from the outside of our pipeline.

c. The installation of utilities over or under Metropolitan's pipeline(s) must be in accordance with the requirements shown on the enclosed prints of Drawings Nos. C-11632 and C-9547. Whenever possible we request a minimum of one foot clearance between Metropolitan's pipe and your facility. Temporary support of Metropolitan's pipe may also be required at undercrossings of its pipe in an open trench. The temporary support plans must be reviewed and approved by Metropolitan.

d. Lateral utility crossings of Metropolitan's pipelines must be as perpendicular to its pipeline alignment as practical. Prior to any excavation our pipeline shall be located manually and any excavation within two feet of our pipeline must be done by hand. This shall be noted on the appropriate drawings.

e. Utilities constructed longitudinally within Metropolitan's rights-of-way must be located outside the theoretical trench prism for uncovering its pipeline and must be located parallel to and as close to its rights-of-way lines as practical.

f. When piping is jacked or installed in jacked casing or tunnel under Metropolitan's pipe, there must be at least two feet of vertical clearance between the bottom of Metropolitan's pipe and the top of the jacked pipe, jacked casing or tunnel. We also require that detail drawings of the shoring for the jacking or tunneling pits be submitted for our review and approval. Provisions must be made to grout any voids around the exterior of the jacked pipe, jacked casing or tunnel. If the piping is installed in a jacked casing or tunnel the annular space between the piping and the jacked casing or tunnel must be filled with grout.

g. Overhead electrical and telephone line requirements:

1) Conductor clearances are to conform to the California State Public Utilities Commission, General Order 95, for Overhead Electrical Line Construction or at a greater clearance if required by Metropolitan. Under no circumstances shall clearance be less than 35 feet.

2) A marker must be attached to the power pole showing the ground clearance and line voltage, to help prevent damage to your facilities during maintenance or other work being done in the area.

3) Line clearance over Metropolitan's fee properties and/or easements shall be shown on the drawing to indicate the lowest point of the line under the most adverse conditions including consideration of sag, wind load, temperature change, and support type. We require that overhead lines be located at least 30 feet laterally away from all above-ground structures on the pipelines.

4) When underground electrical conduits, 120 volts or greater, are installed within Metropolitan's fee property and/or easement, the conduits must be incased in a minimum of three inches of red concrete. Where possible, above ground warning signs must also be placed at the right-of-way lines where the conduits enter and exit the right-of-way.

h. The construction of sewerlines in Metropolitan's fee properties and/or easements must conform to the California Department of Health Services Criteria for the Separation of Water Mains and Sanitary Services and the local City or County Health Code Ordinance as it relates to installation of sewers in the vicinity of pressure waterlines. The construction of sewerlines should also conform to these standards in street rights-of-way.

i. Cross sections shall be provided for all pipeline crossings showing Metropolitan's fee property and/or easement limits and the location of our pipeline(s). The exact locations of the crossing pipelines and their elevations shall be marked on as-built drawings for our information.

j. Potholing of Metropolitan's pipeline is required if the vertical clearance between a utility and Metropolitan's pipeline is indicated on the plan to be one foot or less. If the indicated clearance is between one and two feet, potholing is suggested. Metropolitan will provide a representative to assist others in locating and identifying its pipeline. Two-working days notice is requested.

k. Adequate shoring and bracing is required for the full depth of the trench when the excavation encroaches within the zone shown on Figure 4.

l. The location of utilities within Metropolitan's fee property and/or easement shall be plainly marked to help prevent damage during maintenance or other work done in the area. Detectable tape over buried utilities should be placed a minimum of 12 inches above the utility and shall conform to the following requirements:

1) Water pipeline: A two-inch blue warning tape shall be imprinted with:

"CAUTION BURIED WATER PIPELINE"

2) Gas, oil, or chemical pipeline: A two-inch yellow warning tape shall be imprinted with:

"CAUTION BURIED _____ PIPELINE"

3) Sewer or storm drain pipeline: A two-inch green warning tape shall be imprinted with:

"CAUTION BURIED _____ PIPELINE"

4) Electric, street lighting, or traffic signals conduit: A two-inch red warning tape shall be imprinted with:

"CAUTION BURIED _____ CONDUIT"

5) Telephone, or television conduit: A two-inch orange warning tape shall be imprinted with:

"CAUTION BURIED _____ CONDUIT"

m. Cathodic Protection requirements:

1) If there is a cathodic protection station for Metropolitan's pipeline in the area of the proposed work, it shall be located prior to any grading or excavation. The exact location, description and manner of protection shall be shown on all applicable plans. Please contact Metropolitan's Corrosion Engineering Section, located at Metropolitan's F. E. Weymouth Softening and Filtration Plant, 700 North Moreno Avenue, La Verne, California 91750, telephone (714) 593-7474, for the locations of Metropolitan's cathodic protection stations.

2) If an induced-current cathodic protection system is to be installed on any pipeline crossing Metropolitan's pipeline, please contact Mr. Wayne E. Risner at (714) 593-7474 or (213) 250-5085. He will review the proposed system and determine if any conflicts will arise with the existing cathodic protection systems installed by Metropolitan.

3) Within Metropolitan's rights-of-way, pipelines and carrier pipes (casings) shall be coated with an approved protective coating to conform to Metropolitan's requirements, and shall be maintained in a neat and orderly condition as directed by Metropolitan. The application and monitoring of cathodic protection on the pipeline and casing shall conform to Title 49 of the Code of Federal Regulations, Part 195.

4) If a steel carrier pipe (casing) is used:

(a) Cathodic protection shall be provided by use of a sacrificial magnesium anode (a sketch showing the cathodic protection details can be provided for the designers information).

(b) The steel carrier pipe shall be protected with a coal tar enamel coating inside and out in accordance with AWWA C203 specification.

n. All trenches shall be excavated to comply with the CAL/OSHA Construction Safety Orders, Article 6, beginning with Sections 1539 through 1547. Trench backfill shall be placed in 8-inch lifts and shall be compacted to 95 percent relative compaction (ASTM D698) across roadways and through protective dikes. Trench backfill elsewhere will be compacted to 90 percent relative compaction (ASTM D698).

o. Control cables connected with the operation of Metropolitan's system are buried within streets, its fee properties and/or easements. The locations and elevations of these cables shall be shown on the drawings. The drawings shall note that prior to any excavation in the area, the control cables shall be located and measures shall be taken by the contractor to protect the cables in place.

p. Metropolitan is a member of Underground Service Alert (USA). The contractor (excavator) shall contact USA at 1-800-422-4133 (Southern California) at least 48 hours prior to starting any excavation work. The contractor will be liable for any damage to Metropolitan's facilities as a result of the construction.

8. Paramount Right

Facilities constructed within Metropolitan's fee properties and/or easements shall be subject to the paramount right of Metropolitan to use its fee properties and/or easements for the purpose for which they were acquired. If at any time Metropolitan or its assigns should, in the exercise of their rights, find it necessary to remove any of the facilities from the fee properties and/or easements, such removal and replacement shall be at the expense of the owner of the facility.

9. Modification of Metropolitan's Facilities

When a manhole or other of Metropolitan's facilities must be modified to accommodate your construction or reconstruction, Metropolitan will modify the facilities with its forces. This should be noted on the construction plans. The estimated cost to perform this modification will be given to you and we will require a deposit for this amount before the work is performed. Once the deposit is received, we will schedule the work. Our forces will coordinate the work with your contractor. Our final billing will be based on actual cost incurred, and will include materials, construction, engineering plan review, inspection, and administrative overhead charges calculated in accordance with Metropolitan's standard accounting practices. If the cost is less than the deposit, a refund will be made; however, if the cost exceeds the deposit, an invoice will be forwarded for payment of the additional amount.

10. Drainage

a. Residential or commercial development typically increases and concentrates the peak storm water runoff as well as the total yearly storm runoff from an area, thereby increasing the requirements for storm drain facilities downstream of the development. Also, throughout the year water from landscape irrigation, car washing, and other outdoor domestic water uses flows into the storm drainage system resulting in weed abatement, insect infestation, obstructed access and other problems. Therefore, it is Metropolitan's usual practice not to approve plans that show discharge of drainage from developments onto its fee properties and/or easements.

b. If water must be carried across or discharged onto Metropolitan's fee properties and/or easements, Metropolitan will insist that plans for development provide that it be carried by closed conduit or lined open channel approved in writing by Metropolitan. Also the drainage facilities must be maintained by others, e.g., city, county, homeowners association, etc. If the development proposes changes to existing drainage features, then the developer shall make provisions to provide for replacement and these changes must be approved by Metropolitan in writing.

11. Construction Coordination

During construction, Metropolitan's field representative will make periodic inspections. We request that a stipulation be added to the plans or specifications for notification of Mr. _____ of Metropolitan's Operations Services Branch, telephone (213) 250-_____, at least two working days prior to any work in the vicinity of our facilities.

12. Pipeline Loading Restrictions

a. Metropolitan's pipelines and conduits vary in structural strength, and some are not adequate for AASHTO H-20 loading. Therefore, specific loads over the specific sections of pipe or conduit must be reviewed and approved by Metropolitan. However, Metropolitan's pipelines are typically adequate for AASHTO H-20 loading provided that the cover over the pipeline is not less than four feet or the cover is not substantially increased. If the temporary cover over the pipeline during construction is between three and four feet, equipment must be restricted to that which

imposes loads no greater than AASHTO H-10. If the cover is between two and three feet, equipment must be restricted to that of a Caterpillar D-4 tract-type tractor. If the cover is less than two feet, only hand equipment may be used. Also, if the contractor plans to use any equipment over Metropolitan's pipeline which will impose loads greater than AASHTO H-20, it will be necessary to submit the specifications of such equipment for our review and approval at least one week prior to its use. More restrictive requirements may apply to the loading guideline over the San Diego Pipelines 1 and 2, portions of the Orange County Feeder, and the Colorado River Aqueduct. Please contact us for loading restrictions on all of Metropolitan's pipelines and conduits.

b. The existing cover over the pipeline shall be maintained unless Metropolitan determines that proposed changes do not pose a hazard to the integrity of the pipeline or an impediment to its maintenance.

13. Blasting

a. At least 20 days prior to the start of any drilling for rock excavation blasting, or any blasting, in the vicinity of Metropolitan's facilities, a two-part preliminary conceptual plan shall be submitted to Metropolitan as follows:

b. Part 1 of the conceptual plan shall include a complete summary of proposed transportation, handling, storage, and use of explosions.

c. Part 2 shall include the proposed general concept for blasting, including controlled blasting techniques and controls of noise, fly rock, airblast, and ground vibration.

14. CEQA Requirements

a. When Environmental Documents Have Not Been Prepared

1) Regulations implementing the California Environmental Quality Act (CEQA) require that Metropolitan have an opportunity to consult with the agency or consultants preparing any environmental documentation. We are required to review and consider the environmental effects of the project as shown in the Negative Declaration or Environmental Impact Report (EIR) prepared for your project before committing Metropolitan to approve your request.

2) In order to ensure compliance with the regulations implementing CEQA where Metropolitan is not the Lead Agency, the following minimum procedures to ensure compliance with the Act have been established:

a) Metropolitan shall be timely advised of any determination that a Categorical Exemption applies to the project. The Lead Agency is to advise Metropolitan that it and other agencies participating in the project have complied with the requirements of CEQA prior to Metropolitan's participation.

b) Metropolitan is to be consulted during the preparation of the Negative Declaration or EIR.

c) Metropolitan is to review and submit any necessary comments on the Negative Declaration or draft EIR.

d) Metropolitan is to be indemnified for any costs or liability arising out of any violation of any laws or regulations including but not limited to the California Environmental Quality Act and its implementing regulations.

b. When Environmental Documents Have Been Prepared

If environmental documents have been prepared for your project, please furnish us a copy for our review and files in a timely manner so that we may have sufficient time to review and comment. The following steps must also be accomplished:

1) The Lead Agency is to advise Metropolitan that it and other agencies participating in the project have complied with the requirements of CEQA prior to Metropolitan's participation.

2) You must agree to indemnify Metropolitan, its officers, engineers, and agents for any costs or liability arising out of any violation of any laws or regulations including but not limited to the California Environmental Quality Act and its implementing regulations.

15. Metropolitan's Plan-Review Cost

a. An engineering review of your proposed facilities and developments and the preparation of a letter response

giving Metropolitan's comments, requirements and/or approval that will require 8 man-hours or less of effort is typically performed at no cost to the developer, unless a facility must be modified where Metropolitan has superior rights. If an engineering review and letter response requires more than 8 man-hours of effort by Metropolitan to determine if the proposed facility or development is compatible with its facilities, or if modifications to Metropolitan's manhole(s) or other facilities will be required, then all of Metropolitan's costs associated with the project must be paid by the developer, unless the developer has superior rights.

b. A deposit of funds will be required from the developer before Metropolitan can begin its detailed engineering plan review that will exceed 8 hours. The amount of the required deposit will be determined after a cursory review of the plans for the proposed development.

c. Metropolitan's final billing will be based on actual cost incurred, and will include engineering plan review, inspection, materials, construction, and administrative overhead charges calculated in accordance with Metropolitan's standard accounting practices. If the cost is less than the deposit, a refund will be made; however, if the cost exceeds the deposit, an invoice will be forwarded for payment of the additional amount. Additional deposits may be required if the cost of Metropolitan's review exceeds the amount of the initial deposit.

16. Caution

We advise you that Metropolitan's plan reviews and responses are based upon information available to Metropolitan which was prepared by or on behalf of Metropolitan for general record purposes only. Such information may not be sufficiently detailed or accurate for your purposes. No warranty of any kind, either express or implied, is attached to the information therein conveyed as to its accuracy, and no inference should be drawn from Metropolitan's failure to comment on any aspect of your project. You are therefore cautioned to make such surveys and other field investigations as you may deem prudent to assure yourself that any plans for your project are correct.

17. Additional Information

Should you require additional information, please contact:

Civil Engineering Substructures Section
Metropolitan Water District
of Southern California
P.O. Box 54153
Los Angeles, California 90054-0153
(213) 217-6000

JEH/MRW/lk

Rev. January 22, 1989

Encl.

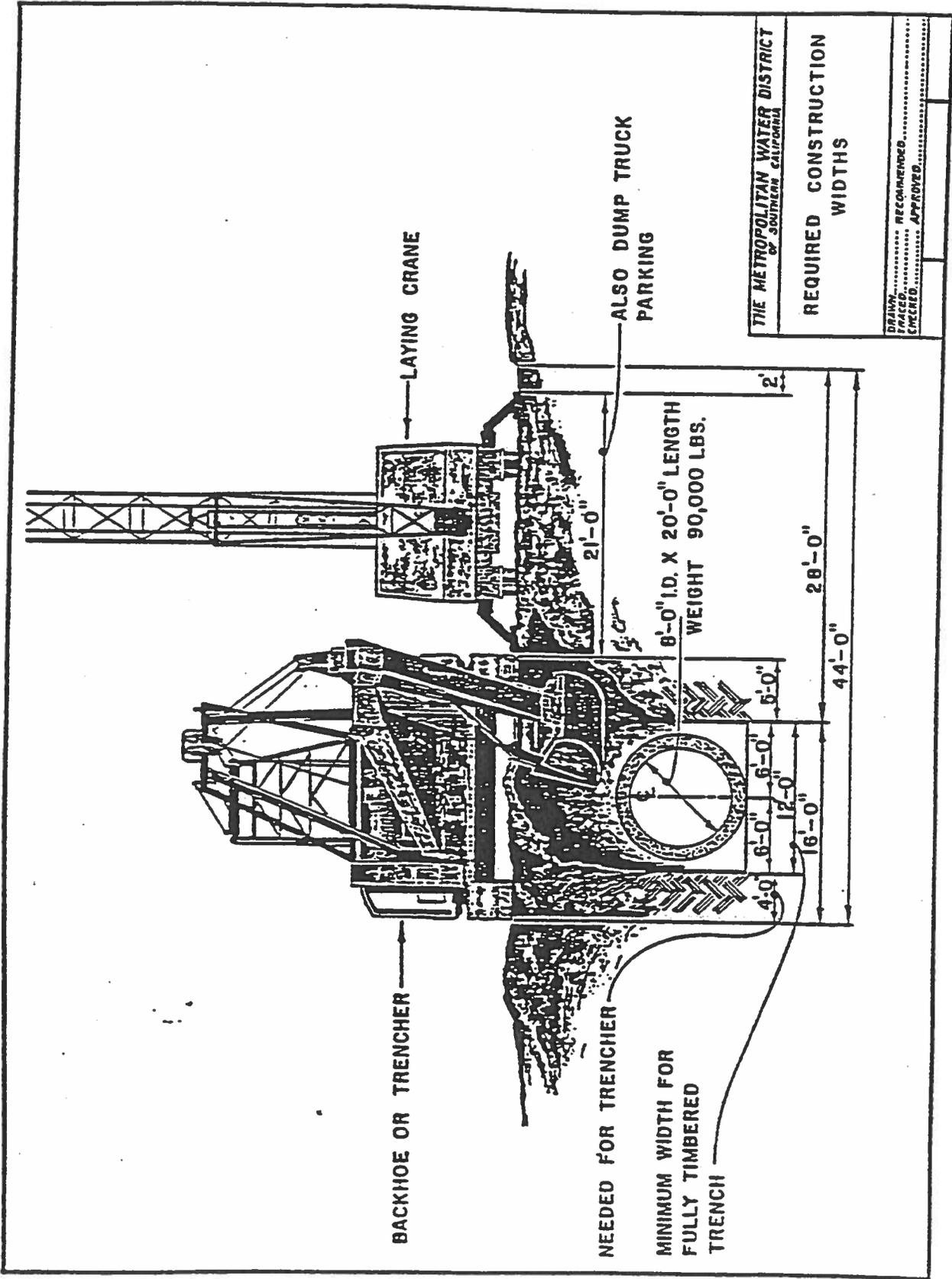


FIGURE 1

FORM NO. 28 9 100111 97 P.O. 97-5183

NO PERMANENT STRUCTURES PERMITTED
M.W.D. PERMANENT RIGHT OF WAY

NO ROOF OVERHANG PERMITTED

FOOTING MUST NOT
ENCROACH INTO
RIGHT OF WAY

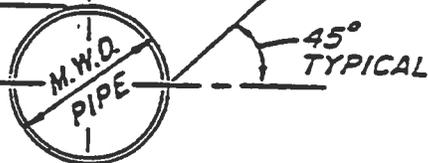
BUILDING
ADJACENT
TO RIGHT
OF WAY

FINISHED
SURFACE

VARIES

VAR.

REQUIRED
DEPTH OF
FOOTING



M.W.D. PIPELINE

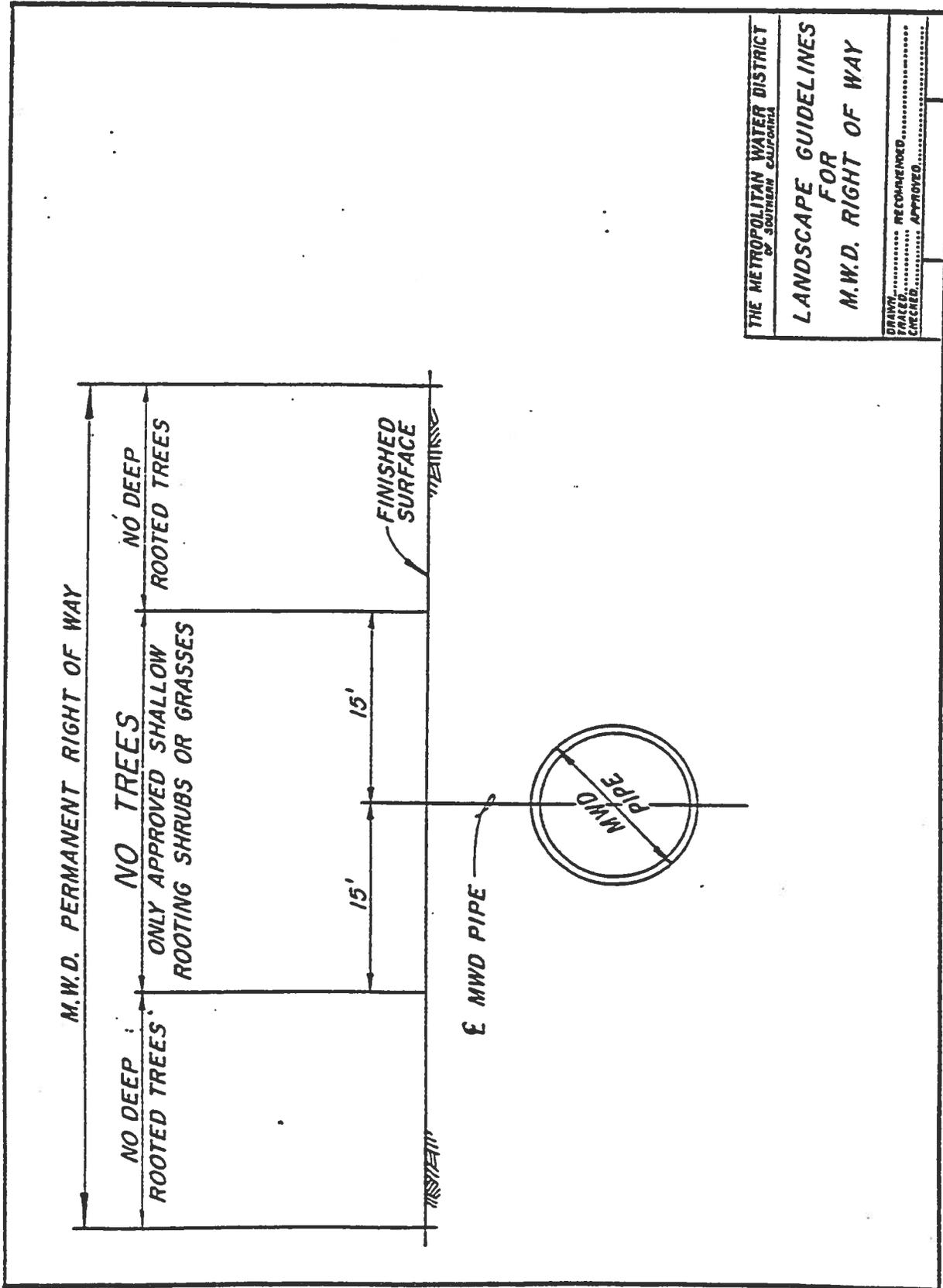
NOTE: M.W.D. PIPELINE SIZE, DEPTH, LOCATION
AND WIDTH OF PERMANENT RIGHT OF
WAY VARIES.

THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

REQUIREMENTS FOR
BUILDINGS AND FOOTINGS
ADJACENT TO M.W.D.
RIGHT OF WAY

DRAWN	RECOMMENDED
TRACED	APPROVED
CHECKED	

FIGURE 2



THE METROPOLITAN WATER DISTRICT
OF SOUTHERN CALIFORNIA

LANDSCAPE GUIDELINES
FOR
M.W.D. RIGHT OF WAY

DESIGNER: RECOMMENDED:
 DRAWN BY: CHECKED:
 APPROVED:

FIGURE 3

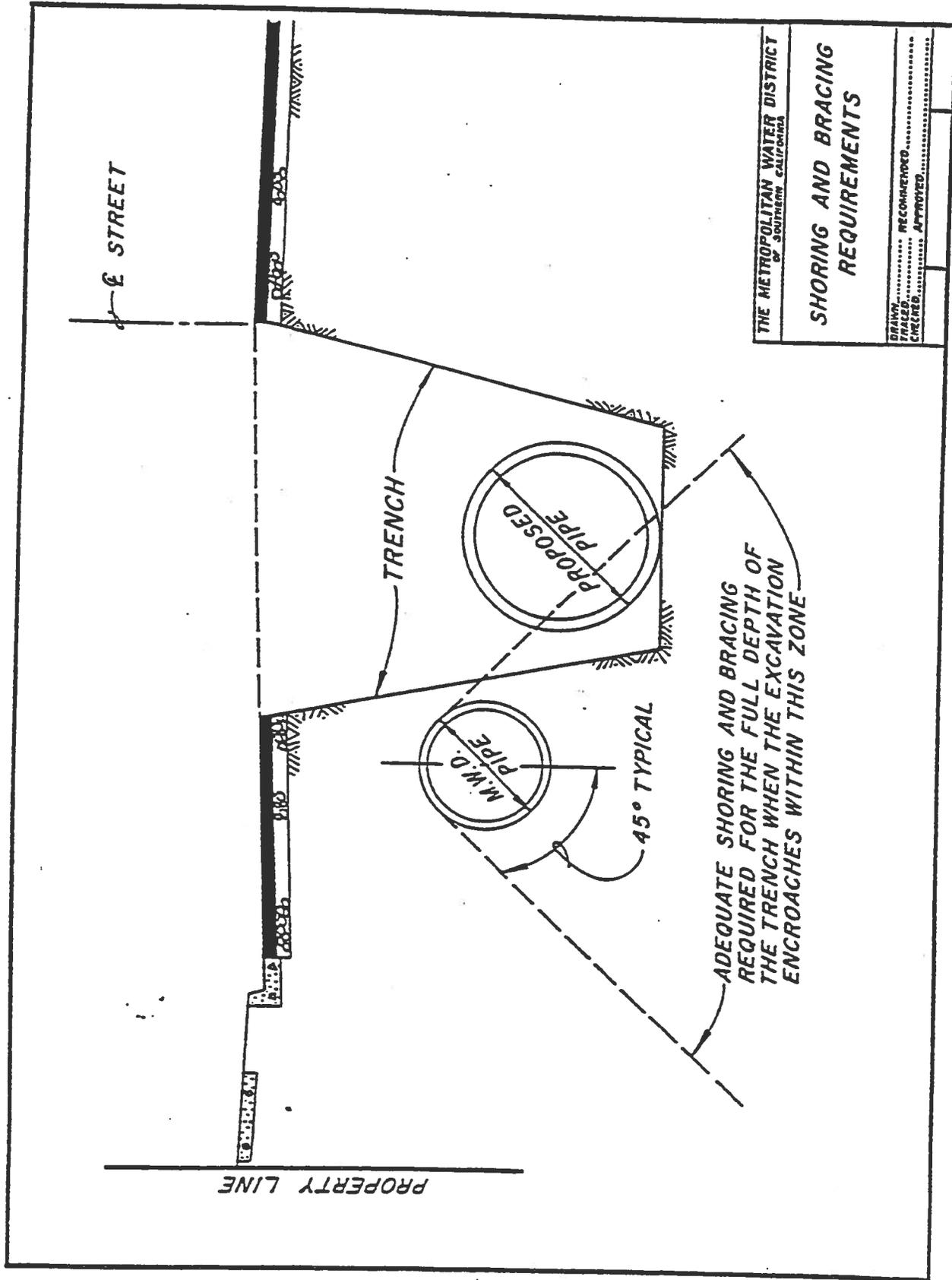
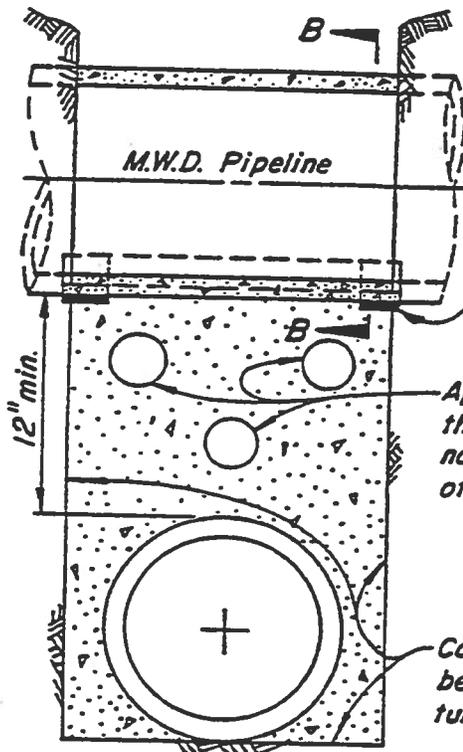


FIGURE 4

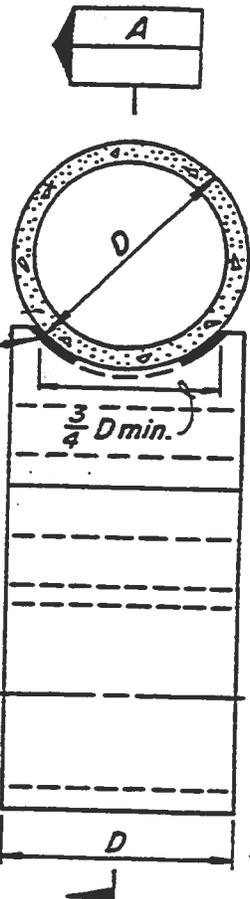


SECTION "A-A"

$\frac{3}{4}$ " x 6" premolded expansion joint filler

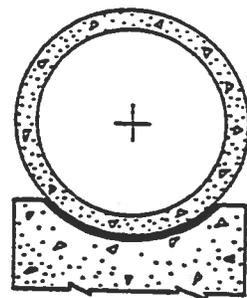
Apertures as directed by the Engineer, total volume not to exceed $\frac{1}{2}$ the volume of the supporting wall

Concrete support wall to be placed against undisturbed ground



CROSS SECTION

1. Supporting wall shall have a firm bearing on the subgrade and against the side of the excavation.
2. Premolded expansion joint filler per ASTM D-1751-73 to be used in support for steel pipe only.
3. If trench width is 4 feet or greater, measured along centerline of M.W.D. pipe, concrete support must be constructed.
4. If trench width is less than 4 feet, clean sand backfill, compacted to 90% density in accordance with the provisions of ASTM Standard D-1557-70 may be used in lieu of the concrete support wall.



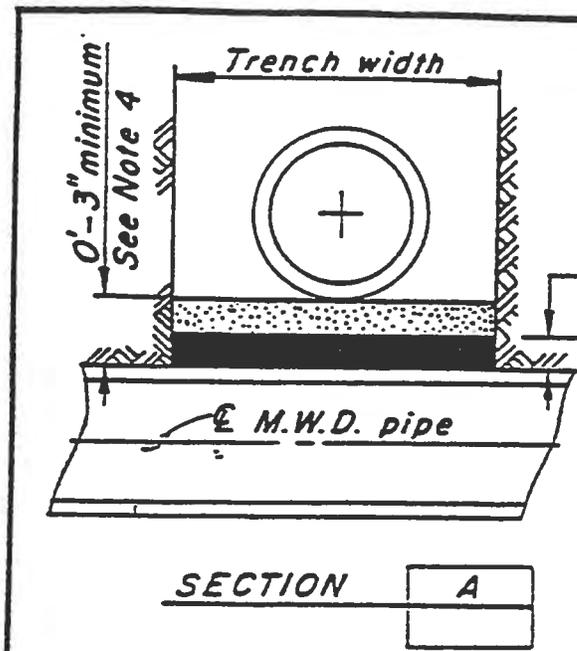
SECTION "B-B"

THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA

TYPICAL SUPPORT FOR M.W.D. PIPELINE

DRAWN _____ RECOMMENDED _____
 TRACED _____ APPROVED _____
 CHECKED _____

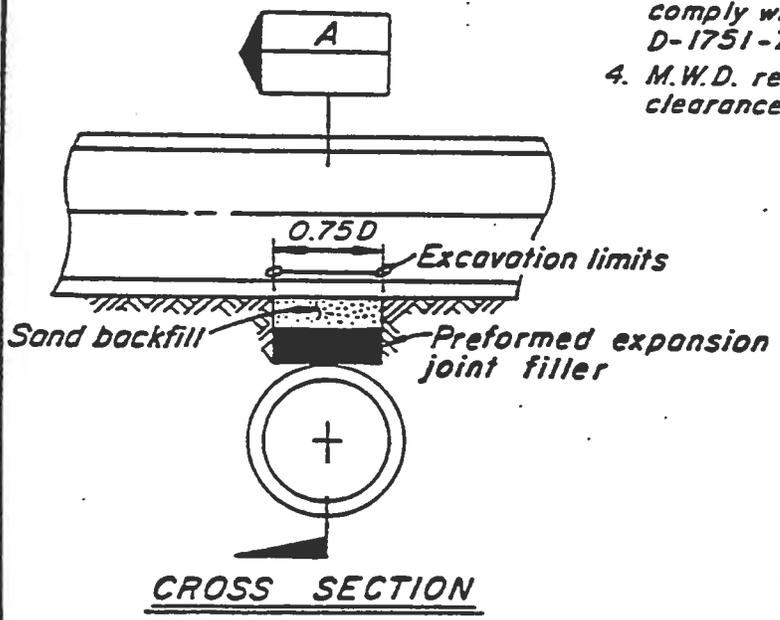
C-9547



3" Preformed expansion joint filler

NOTES

1. This method to be used where the utility line is 24" or greater in diameter and the clearance between the utility line and M.W.D. pipe is 12" or less.
2. Special protection may be required if the utility line diameter is greater than M.W.D. pipe or if the cover over the utility line to the street surface is minimal and there is 12" or less clearance between M.W.D. pipe and the utility line.
3. Preformed expansion joint filler to comply with ASTM designation D-1751-73.
4. M.W.D. requests 12" minimum clearance whenever possible.



THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA	
TYPICAL EXPANSION JOINT FILLER PROTECTION FOR OVCROSSING OF M.W.D. PIPELINE	
DESIGNED: _____	RECOMMENDED: _____
TRACED: _____	APPROVED: _____
CHECKED: _____	
C-11632	

Red Hill Avenue Specific Plan

Bryan Ave to Walnut Ave

Legend

-  Red Hill Ave & Nisson Rd
-  Affected Project Areas



Google Earth

© 2016 Google



AFFILIATED AGENCIES

*Orange County
Transit District*

*Local Transportation
Authority*

*Service Authority for
Freeway Emergencies*

*Consolidated Transportation
Service Agency*

*Congestion Management
Agency*

*Service Authority for
Abandoned Vehicles*

May 8, 2017

Ms. Erica Demkowicz
AICP, Senior Planner
City of Tustin, Community Development
300 Centennial Way
Tustin, CA 92780

Subject: Red Hill Avenue Specific Plan Notice of Preparation

Dear Ms. Demkowicz:

Thank you for providing the Orange County Transportation Authority (OCTA) with the Notice of Preparation of a Program Environmental Impact Report for the Red Hill Specific Plan (Project). The following comments are provided for your consideration:

- Figure 1 on Page 3 identifies the Specific Plan Project Area. OCTA provides bus stops and bus route services within the Project area, specifically on Red Hill Avenue and Walnut Avenue. OCTA recommends employing measures to reduce potential disruptions to the bus stops, in effect reducing transit service disruptions, and requests the City of Tustin to keep OCTA updated with any potential bus stop disruptions or street closures that may necessitate detours.
- OCTA coordinated with local jurisdictions and community members to develop regional bikeway corridors as shown in the OC Foothills Bikeways Strategy (April 2016). The OC Foothills Bikeways Strategy identified Corridor B along Newport Avenue in the proposed Project vicinity. OCTA encourages the City to consider opportunities to improve regional bikeways connectivity in the Project area along Newport Avenue or Red Hill Avenue as part of the environmental review, as the route alignment is determined by local agency staff based on local constraints and opportunities.
 - OC Foothills Bikeways Strategy (April 2016)
http://octa.net/pdf/20160404_OC%20Foothills%20Bikeways_Final%20Final.pdf

Ms. Erica Demkowicz

May 8, 2017

Page 2

Throughout the development of this project, we encourage communication with OCTA on any matters discussed herein. If you have any questions or comments, please contact me at (714) 560-5907 or at dphu@octa.net.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dan Phu", with a stylized flourish extending to the right.

Dan Phu
Manager, Environmental Programs



RICHARD SANCHEZ
DIRECTOR

STEVE THRONSON
DEPUTY AGENCY DIRECTOR
REGULATORY/MEDICAL SERVICES

LIZA FRIAS, REHS
DIRECTOR
ENVIRONMENTAL HEALTH

1241 E. DYER ROAD, SUITE 120
SANTA ANA, CA 92705

TELEPHONE: (714) 433-6000
FAX: (714) 754-1732
E-MAIL: ehealth@ochca.com

**REGULATORY/ MEDICAL HEALTH SERVICES
ENVIRONMENTAL HEALTH**

May 4, 2017

Erica Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

RECEIVED

MAY 05 2017

COMMUNITY DEVELOPMENT
BY: _____

Subject: Red Hill Specific Plan Notice of Preparation (NOP) of a Program Environmental Impact Report (EIR) and Public Scoping Meeting dated April 7, 2017

Dear Ms. Demkowicz:

The Orange County Health Care Agency – Environmental Health Division (OCHCA-EH) has received the above referenced document issued by the City of Tustin. The NOP identifies the project extent along Red Hill Avenue extending to Bryan Avenue to the north and approximately 40 south of Walnut Avenue to the south. The east/west boundaries of the project are generally one parcel east and west of the Red Hill right-of-way and at two locations does not extend beyond the right-of-way.

The OCHCA-EH has identified 12 leaking underground storage tank (LUST) projects within the designated project boundaries that vary in status from “Open – Remediation” to “Completed – Case Closed”. In addition, one closed/completed industrial cleanup (IC) site, associated with a dry cleaning facility at the Red Hill Plaza, was identified within the project area. It should be noted that LUST and IC cases are closed with varying degrees of residual contamination provided site conditions meet the, then current, criteria for closure which considers potential impacts to human health and the environment. Potential human health impacts are considered based on site usage at the time of closure and are progressively more stringent with increased sensitivities in land use. For example, a closure at an operating gas station may allow higher levels of residual contamination than one for a residential property. As such, all “Completed – Case Closed” sites should be reevaluated by an environmental professional against current environmental standards and where land uses changes will occur. Limited records pertaining LUST sites may be obtained on the State Water Resources Control Board’s GeoTracker database: <http://geotracker.waterboards.ca.gov/>. In addition, full records for LUST and IC sites maintained by OCHCA-EH may be obtained by contacting the OCHCA Custodian of Records at (714) 834-3536.

Five active underground storage tank (UST) sites were also identified within the project boundaries. Please note, while other permits may be required (ex. Orange County Fire Authority), OCHCA-EH is the primary permitting Agency for tank removal activities within the City of Tustin. Should redevelopment activities necessitate the removal of known or previously unreported USTs advance permitting through OCHCA-EH

Erica Demkowicz

May 4, 2017

Page 2 of 2

is required. Please contact us at (714) 433-6000 for information regarding tank removal or abandonment permits.

If previously undiscovered subsurface contamination or a change in land use should necessitate further site assessment or remedial activities please contact OCHCA-EH at (714) 433-6000.

If you have any questions please contact Geniece Higgins at (714) 433-6260.

Sincerely,



Geniece Higgins
Supervising Hazardous Materials Specialist
Hazardous Materials Mitigation Section
Environmental Health

Orange County Sanitation District

10844 Ellis Avenue, Fountain Valley, CA 92708
714.962.2411 • www.ocsewers.com

RECEIVED

MAY 05 2017

COMMUNITY DEVELOPMENT
BY: _____

May 3, 2017

Erica Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

RE: Red Hill Avenue Specific Plan Program Environmental Impact Report

Dear Erica:

Orange County Sanitation District (OCSD) has reviewed the City of Tustin's Red Hill Avenue Specific Plan. We found no significant impact to our treatment plant and appear to have adequate capacity in our Regional Collection System to accommodate your project. OCSD would however want to re-evaluate the hydraulic capacity as the actual projects are planned, prior to permitting.

If you have specific questions, please contact Rudy Davila, Planning Engineer at (714) 593-7348.

Thank you.

Sincerely,

Ann M. Crafton
(714) 593-7331

- Serving:**
- Anaheim
 - Brea
 - Buena Park
 - Cypress
 - Fountain Valley
 - Fullerton
 - Garden Grove
 - Huntington Beach
 - Irvine
 - La Habra
 - La Palma
 - Los Alamitos
 - Newport Beach
 - Orange
 - Placentia
 - Santa Ana
 - Seal Beach
 - Stanton
 - Tustin
 - Villa Park
 - County of Orange
 - Costa Mesa Sanitary District
 - Midway City Sanitary District
 - Irvine Ranch Water District
 - Yorba Linda Water District





South Coast Air Quality Management District

21865 Copley Drive, Diamond Bar, CA 91765-4178
(909) 396-2000 • www.aqmd.gov

SENT VIA USPS AND E-MAIL:

April 28, 2017

edemkowicz@tustinca.org

Erica Demkowicz AICP, Senior Planner
City of Tustin – Community Development Department
300 Centennial Way
Tustin, CA 92780

Notice of Preparation of a Program Environmental Impact Report for the Red Hill Avenue Specific Plan

The South Coast Air Quality Management District (SCAQMD) staff appreciates the opportunity to comment on the above-mentioned document. The SCAQMD staff's comments are recommendations regarding the analysis of potential air quality impacts from the proposed project that should be included in the Program Environmental Impact Report (EIR). Please send SCAQMD a copy of the Program EIR upon its completion. Note that copies of the Program EIR that are submitted to the State Clearinghouse are not forwarded to SCAQMD. Please forward a copy of the Program EIR directly to SCAQMD at the address shown in the letterhead. **In addition, please send with the Program EIR all appendices or technical documents related to the air quality, health risk, and greenhouse gas analyses and electronic versions of all air quality modeling and health risk assessment files. These include emission calculation spreadsheets and modeling input and output files (not PDF files). Without all files and supporting documentation, SCAQMD staff will be unable to complete our review of the air quality analyses in a timely manner. Any delays in providing all supporting documentation will require additional time for review beyond the end of the comment period.**

Air Quality Analysis

The SCAQMD adopted its California Environmental Quality Act (CEQA) Air Quality Handbook in 1993 to assist other public agencies with the preparation of air quality analyses. The SCAQMD staff recommends that the Lead Agency use this Handbook as guidance when preparing its air quality analyses. Copies of the Handbook are available from the SCAQMD's Subscription Services Department by calling (909) 396-3720. More recent guidance developed since this Handbook was published is also available on SCAQMD's website at: [http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/ceqa-air-quality-handbook-\(1993\)](http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/ceqa-air-quality-handbook-(1993)). The SCAQMD staff also recommends that the Lead Agency use the CalEEMod land use emissions software. This software has recently been updated to incorporate up-to-date state and locally approved emission factors and methodologies for estimating pollutant emissions from typical land use development. CalEEMod is the only software model maintained by the California Air Pollution Control Officers Association (CAPCOA) and replaces the now outdated URBEMIS. This model is available free of charge at: www.caleemod.com.

Adopted on March 3, 2017, the 2016 Air Quality Management Plan (2016 AQMP) is a regional blueprint for achieving air quality standards and healthful air in the South Coast Air Basin. Built upon the progress in implementing the 2007 and 2012 AQMPs, the 2016 AQMP provides a regional perspective on air quality including the challenge of achieving 45% additional NO_x reductions in 2023 and 55% in 2031 that are needed for ozone attainment. The 2016 AQMP is available on SCAQMD's website at: <http://www.aqmd.gov/home/library/clean-air-plans/air-quality-mgt-plan>.

The SCAQMD staff recognizes that there are many factors Lead Agencies must consider when making local planning and land use decisions. To facilitate stronger collaboration between Lead Agencies and the

SCAQMD to reduce community exposure to source-specific and cumulative air pollution impacts, the SCAQMD adopted the Guidance Document for Addressing Air Quality Issues in General Plans and Local Planning in 2005. This Guidance Document provides suggested policies that local governments can use in their General Plans or through local planning to prevent or reduce potential air pollution impacts and protect public health. The SCAQMD staff recommends that the Lead Agency review this Guidance Document as a tool when making local planning and land use decisions. This Guidance Document is available on SCAQMD's website at: <http://www.aqmd.gov/home/library/documents-support-material/planning-guidance/guidance-document>. Additional guidance on siting incompatible land uses (such as placing homes near freeways or other polluting sources) can be found in the California Air Resources Board's *Air Quality and Land Use Handbook: A Community Perspective*, which can be found at: <http://www.arb.ca.gov/ch/handbook.pdf>.

The SCAQMD has also developed both regional and localized significance thresholds. The SCAQMD staff requests that the Lead Agency compare the emission results to the recommended regional significance thresholds found here: <http://www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf>. In addition to analyzing regional air quality impacts, the SCAQMD staff recommends calculating localized air quality impacts and comparing the results to localized significance thresholds (LSTs). LSTs can be used in addition to the recommended regional significance thresholds as a second indication of air quality impacts when preparing a CEQA document. Therefore, when preparing the air quality analysis for the proposed project, it is recommended that the Lead Agency perform a localized analysis by either using the LSTs developed by the SCAQMD or performing dispersion modeling as necessary. Guidance for performing a localized air quality analysis can be found at: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/localized-significance-thresholds>.

When specific development is reasonably foreseeable as result of the goals, policies, and guidelines in the proposed project, the Lead Agency should identify any potential adverse air quality impacts and sources of air pollution that could occur using its best efforts to find out and a good-faith effort at full disclosure in the EIR. The degree of specificity will correspond to the degree of specificity involved in the underlying activity which is described in the EIR (CEQA Guidelines Section 15146). When quantifying air quality emissions, emissions from both construction (including demolition, if any) and operations should be calculated. Construction-related air quality impacts typically include, but are not limited to, emissions from the use of heavy-duty equipment from grading, earth-loading/unloading, paving, architectural coatings, off-road mobile sources (e.g., heavy-duty construction equipment) and on-road mobile sources (e.g., construction worker vehicle trips, material transport trips). Operation-related air quality impacts may include, but are not limited to, emissions from stationary sources (e.g., boilers), area sources (e.g., solvents and coatings), and vehicular trips (e.g., on- and off-road tailpipe emissions and entrained dust). Air quality impacts from indirect sources, such as sources that generate or attract vehicular trips, should be included in the analysis. Furthermore, for phased projects where there will be an overlap between construction and operation, the air quality impacts from the overlap should be combined and compared to the SCAQMD's regional operational thresholds to determine significance.

In the event that the proposed project generates or attracts vehicular trips, especially heavy-duty diesel-fueled vehicles, it is recommended that the Lead Agency perform a mobile source health risk assessment. Guidance for performing a mobile source health risk assessment ("*Health Risk Assessment Guidance for Analyzing Cancer Risk from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis*") can be found at: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/mobile-source-toxics-analysis>. An analysis of all toxic air contaminant impacts due to the use of equipment potentially generating such air pollutants should also be included.

Mitigation Measures

In the event that the proposed project generates significant adverse air quality impacts, CEQA requires that all feasible mitigation measures that go beyond what is required by law be utilized during project construction and operation to minimize these impacts. Pursuant to CEQA Guidelines §15126.4 (a)(1)(D), any impacts resulting from mitigation measures must also be discussed. Several resources are available to assist the Lead Agency with identifying potential mitigation measures for the proposed project, including:

- Chapter 11 of the SCAQMD *CEQA Air Quality Handbook*
- SCAQMD's CEQA web pages available here: <http://www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/mitigation-measures-and-control-efficiencies>
- SCAQMD's Rule 403 – Fugitive Dust, and the Implementation Handbook for controlling construction-related emissions and Rule 1403 – Asbestos Emissions from Demolition/Renovation Activities
- SCAQMD's Mitigation Monitoring and Reporting Plan (MMRP) for the 2016 AQMP available here (starting on page 86): <http://www.aqmd.gov/docs/default-source/Agendas/Governing-Board/2017/2017-mar3-035.pdf?sfvrsn=5>
- CAPCOA's *Quantifying Greenhouse Gas Mitigation Measures* available here: <http://www.capcoa.org/wp-content/uploads/2010/11/CAPCOA-Quantification-Report-9-14-Final.pdf>

Alternatives

In the event that the proposed project generates significant adverse air quality and health risks impacts, CEQA requires the consideration and discussion of alternatives to the project or its location which are capable of avoiding or substantially lessening any of the significant effects of the project. The discussion of a reasonable range of potentially feasible alternatives, including a “no project” alternative, is intended to foster informed decision-making and public participation. Pursuant to CEQA Guidelines §15126.6 (d), the Program EIR shall include sufficient information about each alternative to allow meaningful evaluation, analysis, and comparison with the proposed project.

Permits

In the event that the proposed project requires a permit from SCAQMD, SCAQMD should be identified as a responsible agency for the proposed project. For more information on permits, please visit the SCAQMD webpage at: <http://www.aqmd.gov/home/permits>. Questions on permits can be directed to the SCAQMD's Engineering and Permitting staff at (909) 396-3385.

Data Sources

SCAQMD rules and relevant air quality reports and data are available by calling the SCAQMD's Public Information Center at (909) 396-2039. Much of the information available through the Public Information Center is also available at the SCAQMD's webpage (<http://www.aqmd.gov>).

SCAQMD staff is available to work with the Lead Agency to ensure that project air quality and health risk impacts are accurately evaluated and mitigated where feasible. If you have any questions regarding this letter, please contact me at lsun@aqmd.gov or call me at (909) 396-3308.

Sincerely,

Lijin Sun

Lijin Sun, J.D.

Program Supervisor, CEQA IGR

Planning, Rule Development & Area Sources

LS

ORC170411-10

Control Number

Irvine Asset Group, LLC

May 2, 2017

Erica Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, CA 92780

RE: Response to Notice of Preparation for Red Hill Avenue Specific Plan Program Environmental Impact Report

Dear Erica:

In response to the City's Notice of Preparation sent on April 7, 2017 and the Scoping Meeting held on April 20, 2017, we would like to coordinate with the City staff and EIR Consultant Kimley Horn to assure that the analysis in the Program EIR includes the Irvine Assets proposed project at Red Hill and San Juan in the Redhill Avenue Specific Plan area, per the attached project description.

We look forward to meeting with City staff and will follow up to schedule a meeting.

Sincerely,



Craig Swanson
Irvine Assets

Cc: Jeff Parker, City Manager
Elizabeth Binsock, Community Development Director

4000 MacArthur Blvd, Suite 600, Newport Beach, CA 92660 • Phone (949) 783-4123

Irvine Asset Group, LLC

Project Description

December 22, 2016

The Red Hill Avenue Specific Plan may create a Mixed Use (MU) Land Use District, which would permit mixed-use developments to stimulate revitalization within the Specific Plan, subject to certain criteria and to be governed by zoning provisions. It is anticipated that this new District will establish zoning requirements including parking, permitting a mixed-use project subject to the approval of a conditional use permit.

It is further anticipated that the Applicant's Development Site: A 2.882 site currently designated Planned Community Commercial/Business (PC-C); and, an adjacent .507 Coldwell Banker Realty site currently designated Community Commercial (CC) would both be included in the new Red Hill Corridor Specific Plan and amended to the new Mixed Use (MU) Land Use Designation. Should the alley vacation be approved, it will be added to this site area.

Design Review/ Conditional Use Permit

Applicant will be concurrently processing a design review/conditional use permit for the 2.882 and .507 sites along the west side of Red Hill Avenue. The proposed project will be consistent with the development standards provided in the pending Red Hill Avenue Specific Plan.

The project proposes a mixed use development on the 3.39 acre site to include a 2, 3 and 4 story, tiered residential use among 8 buildings providing a total of 135 apartment units (1br and 2br) with ground floor live-work and commercial/retail fronting Red Hill Avenue. The ground floor of the building will include up to 7,200 s.f. of retail area, including a 2,400 s.f. Fitness Center to be utilized by residents and 4,800 s.f. of retail area as well as 15 live/work townhome units to provide for connectivity to the streetscape areas along Red Hill Avenue and San Juan Avenue.

A central courtyard provides a resort style pool/spa area and sun deck for the residents. Outside of the pool/spa area there is a separate lounge/entertainment plaza which will include a fireplace lounge area, barbecues and tables with seating and is oriented to take advantage of the indoor/outdoor living relationship with the adjacent club rooms.

A total of 232 parking stalls are provided on site with a parking ratio of 1.73 stalls per unit. 183 stalls are provided specifically for residence parking and 49 are provided for retail and guest parking.

The landscape concept has been designed to enhance the streetscape along Red Hill Avenue to pedestrians as well as vehicles.

The project is expected to provide a significant economic benefit to the immediate neighborhood and encourage additional improvements along the Red Hill Corridor. It is consistent with the

Specific Plan, and the “Neighborhoods of Tustin Town Center: A New Beginning Report” which was adopted by the City of Tustin as a part of the City’s Strategic Plan

Vesting Tentative Tract Map

The proposed project is intended to be developed as a for rent apartment project, however, a Vesting Tentative Tract Map for condominium purposes will be submitted for the project site.

Environmental Review

In conjunction with the proposed Red Hill Avenue Specific Plan along with the necessary GP Land Use Designation amendments, Zoning Map and Zoning Code Amendments, a Master Environmental Impact Report addressing any potential environmental impacts as a result of the implementation of the Specific Plan will accompany the Approved Specific Plan. We are assuming the baseline for analysis will include current zoning and entitlement approvals on any of the properties within the specific plan area as compared to any development authorized by the adoption and implementation of the Specific plan including any GP and Zoning Amendments necessary. We are also assuming the proposed project will be addressed in the Specific Plan EIR, such that if a subsequent Conditional Use Permit is required for project approval, the Specific Plan EIR will be utilized to address project impacts and mitigation.

Cost Distribution and Obligations

Applicant will be responsible for processing costs of application and documents affecting its site. City would bear the costs of inclusion of other properties in the Specific Plan, General Plan and Zoning Amendments.

City would also have the responsibility of identifying the thresholds of development or trip budget that would be assigned to the East Red Hill site and Corner site for purposes of the Initial Study and any subsequent CEQA evaluation, including the traffic study.

APPENDIX B

AIR QUALITY AND GREENHOUSE GAS

Red Hill Specific Plan - Orange County, Summer

**Red Hill Specific Plan
Orange County, Summer**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2019
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Total project area is 36 acres per project description.

Construction Phase - Operation only run

Grading -

Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L

Vehicle Trips - Trip rates per traffic study

Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Area Coating - Per SCAQMD Rule 1113 requiring low VOC architectural coatings with 50g/L

Construction Off-road Equipment Mitigation - Per SCAQMD Rule 403 regarding fugitive dust measures.

Mobile Land Use Mitigation - Per existing transit within the Plan Area.

Energy Mitigation - CalEEMod defaults to T24 2013 and project would exceed T24 2013 by 28%

Energy Use -

Fleet Mix -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	50.00	1.00
tblFireplaces	NumberGas	425.00	300.00
tblFireplaces	NumberNoFireplace	50.00	200.00
tblFireplaces	NumberWood	25.00	0.00
tblLandUse	LotAcreage	31.25	30.00
tblLandUse	LotAcreage	7.29	5.83
tblVehicleTrips	WD_TR	6.59	6.65
tblWoodstoves	NumberCatalytic	25.00	0.00
tblWoodstoves	NumberNoncatalytic	25.00	0.00

2.0 Emissions Summary

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	33.2649	124.7448	383.9734	1.2451	102.1596	1.3885	103.5481	27.3184	1.3058	28.6242		126,125.7804	126,125.7804	5.7229		126,268.8531

Total	53.4017	132.5055	428.8470	1.2935	102.1596	2.2010	104.3606	27.3184	2.1184	29.4367	0.0000	135,440.9641	135,440.9641	5.9731	0.1694	135,640.7780
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Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	31.4733	112.9591	335.3953	1.0537	85.5955	1.1841	86.7795	22.8890	1.1133	24.0023		106,756.2289	106,756.2289	4.9742		106,880.5828
Total	51.6101	120.7198	380.2689	1.1021	85.5955	1.9966	87.5921	22.8890	1.9259	24.8148	0.0000	116,071.4126	116,071.4126	5.2244	0.1694	116,252.5076

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	3.36	8.89	11.33	14.79	16.21	9.29	16.07	16.21	9.09	15.70	0.00	14.30	14.30	12.54	0.00	14.29

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	31.4733	112.9591	335.3953	1.0537	85.5955	1.1841	86.7795	22.8890	1.1133	24.0023		106,756.2289	106,756.2289	4.9742		106,880.5828

Unmitigated	33.2649	124.7448	383.9734	1.2451	102.1596	1.3885	103.5481	27.3184	1.3058	28.6242		126,125.7804	126,125.7804	5.7229		126,268.8531
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4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	9,505,475
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	1,132,841
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	23,730,351
Total	17,835.88	20,633.25	12,037.50	41,019,581	34,368,667

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
NaturalGas Unmitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17478.9	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5328.49	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1739.73	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					

Apartments Low Rise	17.4789	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5.32849	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1.73973	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Unmitigated	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	1.6826					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000

Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.8721	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	1.6826					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.8721	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

Red Hill Specific Plan(mitigated) - Orange County, Summer

Red Hill Specific Plan(mitigated)
Orange County, Summer

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2019
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Total project area is 36 acres per project description.

Construction Phase - Operational only run

Grading -

Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L

Vehicle Trips - per traffic study

Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Category	lb/day										lb/day					
	Area	Energy	Mobile	Total	Area	Energy	Mobile	Total	Area	Energy	Mobile	Total	Area	Energy	Mobile	Total
Area	19.4594	5.4569	43.6061	0.0340	0.6296	0.6296	0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683		
Energy	0.2647	2.3038	1.2675	0.0144	0.1829	0.1829	0.1829	0.1829	2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566			
Mobile	33.2649	124.7448	383.9734	1.2451	102.1596	1.3885	103.5481	27.3184	1.3058	28.6242	126,125.7804	126,125.7804	5.7229	126,268.8531		
Total	52.9890	132.5055	428.8470	1.2935	102.1596	2.2010	104.3606	27.3184	2.1184	29.4367	0.0000	135,440.9641	135,440.9641	5.9731	0.1694	135,640.7780

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.4594	5.4569	43.6061	0.0340	0.6296	0.6296	0.6296	0.6296	0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144	0.1829	0.1829	0.1829	0.1829	0.1829	0.1829	2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566	
Mobile	29.1186	97.4696	271.5514	0.8022	63.8260	0.9155	64.7414	17.0676	0.8604	17.9280	81,299.7462	81,299.7462	3.9901		81,399.4988	
Total	48.8427	105.2303	316.4250	0.8506	63.8260	1.7280	65.5540	17.0676	1.6729	18.7405	0.0000	90,614.9299	90,614.9299	4.2403	0.1694	90,771.4237

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	7.82	20.58	26.21	34.24	37.52	21.49	37.19	37.52	21.03	36.34	0.00	33.10	33.10	29.01	0.00	33.08

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Improve Destination Accessibility

Increase Transit Accessibility

Employee Vanpool/Shuttle

Provide Riade Sharing Program

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	29.1186	97.4696	271.5514	0.8022	63.8260	0.9155	64.7414	17.0676	0.8604	17.9280		81,299.7462	81,299.7462	3.9901		81,399.4988
Unmitigated	33.2649	124.7448	383.9734	1.2451	102.1596	1.3885	103.5481	27.3184	1.3058	28.6242		126,125.7804	126,125.7804	5.7229		126,268.8531

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	7,109,569
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	843,962
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	17,676,522
Total	17,835.88	20,633.25	12,037.50	41,019,581	25,630,053

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C- NW	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Install High Efficiency Lighting

Install Energy Efficient Appliances

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
NaturalGas Unmitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17478.9	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5328.49	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1739.73	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899

Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
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Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17.4789	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5.32849	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1.73973	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

6.0 Area Detail

6.1 Mitigation Measures Area

- Use Low VOC Paint - Residential Interior
- Use Low VOC Paint - Residential Exterior
- Use Low VOC Paint - Non-Residential Interior
- Use Low VOC Paint - Non-Residential Exterior
- Use only Natural Gas Hearths
- Use Low VOC Cleaning Supplies

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
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Category	lb/day										lb/day					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Unmitigated	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Architectural Coating	1.2699					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.4594	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

Mitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Architectural Coating	1.2699					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000

Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.4594	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

7.0 Water Detail

7.1 Mitigation Measures Water

- Install Low Flow Bathroom Faucet
- Install Low Flow Kitchen Faucet
- Install Low Flow Toilet
- Install Low Flow Shower
- Use Water Efficient Irrigation System

8.0 Waste Detail

8.1 Mitigation Measures Waste

- Institute Recycling and Composting Services

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

Red Hill Specific Plan - Orange County, Winter

**Red Hill Specific Plan
Orange County, Winter**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2019
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Total project area is 36 acres per project description.

Construction Phase - Operation only run

Grading -

Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L

Vehicle Trips - Trip rates per traffic study

Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Area Coating - Per SCAQMD Rule 1113 requiring low VOC architectural coatings with 50g/L

Construction Off-road Equipment Mitigation - Per SCAQMD Rule 403 regarding fugitive dust measures.

Mobile Land Use Mitigation - Per existing transit within the Plan Area.

Energy Mitigation - CalEEMod defaults to T24 2013 and project would exceed T24 2013 by 28%

Energy Use -

Fleet Mix -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	50.00	1.00
tblFireplaces	NumberGas	425.00	300.00
tblFireplaces	NumberNoFireplace	50.00	200.00
tblFireplaces	NumberWood	25.00	0.00
tblLandUse	LotAcreage	31.25	30.00
tblLandUse	LotAcreage	7.29	5.83
tblVehicleTrips	WD_TR	6.59	6.65
tblWoodstoves	NumberCatalytic	25.00	0.00
tblWoodstoves	NumberNoncatalytic	25.00	0.00

2.0 Emissions Summary

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	32.8679	128.1638	373.4271	1.1884	102.1596	1.3984	103.5581	27.3184	1.3154	28.6338		120,418.9193	120,418.9193	5.7338		120,562.2641

Total	53.0046	135.9245	418.3008	1.2368	102.1596	2.2110	104.3706	27.3184	2.1279	29.4463	0.0000	129,734.1030	129,734.1030	5.9840	0.1694	129,934.1890
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Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	31.1131	115.7099	329.0037	1.0056	85.5955	1.1941	86.7895	22.8890	1.1229	24.0119		101,903.2951	101,903.2951	5.0053		102,028.4271
Total	51.2499	123.4706	373.8773	1.0540	85.5955	2.0066	87.6020	22.8890	1.9354	24.8244	0.0000	111,218.4788	111,218.4788	5.2555	0.1694	111,400.3519

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	3.31	9.16	10.62	14.78	16.21	9.24	16.07	16.21	9.05	15.70	0.00	14.27	14.27	12.17	0.00	14.26

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	31.1131	115.7099	329.0037	1.0056	85.5955	1.1941	86.7895	22.8890	1.1229	24.0119		101,903.2951	101,903.2951	5.0053		102,028.4271
Unmitigated	32.8679	128.1638	373.4271	1.1884	102.1596	1.3984	103.5581	27.3184	1.3154	28.6338		120,418.9193	120,418.9193	5.7338		120,562.2641

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	9,505,475
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	1,132,841
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	23,730,351
Total	17,835.88	20,633.25	12,037.50	41,019,581	34,368,667

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
NaturalGas Unmitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17478.9	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5328.49	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1739.73	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17.4789	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599

High Turnover (Sit Down Restaurant)	5.32849	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1.73973	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Unmitigated	19.8721	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	1.6826					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000

Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.8721	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	1.6826					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.8721	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

Red Hill Specific Plan(mitigated) - Orange County, Winter

Red Hill Specific Plan(mitigated)
Orange County, Winter

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2019
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Total project area is 36 acres per project description.

Construction Phase - Operational only run

Grading -

Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L

Vehicle Trips - per traffic study

Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Category	lb/day										lb/day					
	Area	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	32.8679	128.1638	373.4271	1.1884	102.1596	1.3984	103.5581	27.3184	1.3154	28.6338		120,418.9193	120,418.9193	5.7338		120,562.2641
Total	52.5919	135.9245	418.3008	1.2368	102.1596	2.2110	104.3706	27.3184	2.1279	29.4463	0.0000	129,734.1030	129,734.1030	5.9840	0.1694	129,934.1890

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Energy	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
Mobile	28.8069	99.3424	270.6200	0.7654	63.8260	0.9254	64.7514	17.0676	0.8699	17.9375		77,569.0885	77,569.0885	4.0478		77,670.2842
Total	48.5310	107.1031	315.4936	0.8138	63.8260	1.7380	65.5639	17.0676	1.6824	18.7501	0.0000	86,884.2723	86,884.2723	4.2980	0.1694	87,042.2091

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	7.72	21.20	24.58	34.20	37.52	21.39	37.18	37.52	20.93	36.32	0.00	33.03	33.03	28.17	0.00	33.01

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Improve Destination Accessibility

Increase Transit Accessibility

Employee Vanpool/Shuttle

Provide Riade Sharing Program

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	28.8069	99.3424	270.6200	0.7654	63.8260	0.9254	64.7514	17.0676	0.8699	17.9375		77,569.0885	77,569.0885	4.0478		77,670.2842
Unmitigated	32.8679	128.1638	373.4271	1.1884	102.1596	1.3984	103.5581	27.3184	1.3154	28.6338		120,418.9193	120,418.9193	5.7338		120,562.2641

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	7,109,569
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	843,962
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	17,676,522
Total	17,835.88	20,633.25	12,037.50	41,019,581	25,630,053

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C- NW	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Install High Efficiency Lighting

Install Energy Efficient Appliances

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
NaturalGas Unmitigated	0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17478.9	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5328.49	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1739.73	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899

Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566
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Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	17.4789	0.1885	1.6108	0.6855	0.0103		0.1302	0.1302		0.1302	0.1302		2,056.3401	2,056.3401	0.0394	0.0377	2,068.5599
High Turnover (Sit Down Restaurant)	5.32849	0.0575	0.5224	0.4388	3.1300e-003		0.0397	0.0397		0.0397	0.0397		626.8816	626.8816	0.0120	0.0115	630.6068
Regional Shopping Center	1.73973	0.0188	0.1706	0.1433	1.0200e-003		0.0130	0.0130		0.0130	0.0130		204.6737	204.6737	3.9200e-003	3.7500e-003	205.8899
Total		0.2647	2.3038	1.2675	0.0144		0.1829	0.1829		0.1829	0.1829		2,887.8953	2,887.8953	0.0554	0.0529	2,905.0566

6.0 Area Detail

6.1 Mitigation Measures Area

- Use Low VOC Paint - Residential Interior
- Use Low VOC Paint - Residential Exterior
- Use Low VOC Paint - Non-Residential Interior
- Use Low VOC Paint - Non-Residential Exterior
- Use only Natural Gas Hearths
- Use Low VOC Cleaning Supplies

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
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Category	lb/day										lb/day					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683
Unmitigated	19.4594	5.4569	43.6061	0.0340		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Architectural Coating	1.2699					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.4594	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

Mitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Architectural Coating	1.2699					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	16.3350					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000

Hearth	0.5824	4.9765	2.1177	0.0318		0.4024	0.4024		0.4024	0.4024	0.0000	6,352.9412	6,352.9412	0.1218	0.1165	6,390.6935
Landscaping	1.2722	0.4805	41.4884	2.1800e-003		0.2273	0.2273		0.2273	0.2273		74.3473	74.3473	0.0731		76.1748
Total	19.4594	5.4569	43.6061	0.0339		0.6296	0.6296		0.6296	0.6296	0.0000	6,427.2885	6,427.2885	0.1949	0.1165	6,466.8683

7.0 Water Detail

7.1 Mitigation Measures Water

- Install Low Flow Bathroom Faucet
- Install Low Flow Kitchen Faucet
- Install Low Flow Toilet
- Install Low Flow Shower
- Use Water Efficient Irrigation System

8.0 Waste Detail

8.1 Mitigation Measures Waste

- Institute Recycling and Composting Services

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

Red Hill Specific Plan - Orange County, Annual

**Red Hill Specific Plan
Orange County, Annual**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2019
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

- Project Characteristics -
- Land Use - Total project area is 36 acres per project description.
- Construction Phase - Operation only run
- Grading -
- Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L
- Vehicle Trips - Trip rates per traffic study
- Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Area Coating - Per SCAQMD Rule 1113 requiring low VOC architectural coatings with 50g/L

Construction Off-road Equipment Mitigation - Per SCAQMD Rule 403 regarding fugitive dust measures.

Mobile Land Use Mitigation - Per existing transit within the Plan Area.

Energy Mitigation - CalEEMod defaults to T24 2013 and project would exceed T24 2013 by 28%

Energy Use -

Fleet Mix -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	50.00	1.00
tblFireplaces	NumberGas	425.00	300.00
tblFireplaces	NumberNoFireplace	50.00	200.00
tblFireplaces	NumberWood	25.00	0.00
tblLandUse	LotAcreage	31.25	30.00
tblLandUse	LotAcreage	7.29	5.83
tblVehicleTrips	WD_TR	6.59	6.65
tblWoodstoves	NumberCatalytic	25.00	0.00
tblWoodstoves	NumberNoncatalytic	25.00	0.00

2.0 Emissions Summary

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	3.4545	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073
Energy	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	2,385.3483	2,385.3483	0.0879	0.0251	2,395.0127
Mobile	4.8911	20.1299	58.2859	0.1865	15.5556	0.2154	15.7710	4.1658	0.2026	4.3684	0.0000	17,138.5451	17,138.5451	0.8009	0.0000	17,158.5673

Waste						0.0000	0.0000		0.0000	0.0000	132.4780	0.0000	132.4780	7.8292	0.0000	328.2086
Water						0.0000	0.0000		0.0000	0.0000	18.5186	366.4103	384.9289	1.9172	0.0480	447.1742
Total	8.3939	20.6726	63.7297	0.1898	15.5556	0.2822	15.8378	4.1658	0.2694	4.4352	150.9966	19,970.77	20,121.772	10.6449	0.0744	20,410.07
												57	3			02

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	3.4545	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073
Energy	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	2,385.3483	2,385.3483	0.0879	0.0251	2,395.0127
Mobile	4.6171	18.1595	51.2272	0.1578	13.0334	0.1838	13.2172	3.4904	0.1728	3.6632	0.0000	14,505.8544	14,505.8544	0.6978	0.0000	14,523.2996
Waste						0.0000	0.0000		0.0000	0.0000	132.4780	0.0000	132.4780	7.8292	0.0000	328.2086
Water						0.0000	0.0000		0.0000	0.0000	18.5186	366.4103	384.9289	1.9172	0.0480	447.1742
Total	8.1199	18.7022	56.6710	0.1611	13.0334	0.2506	13.2840	3.4904	0.2396	3.7300	150.9966	17,338.08	17,489.081	10.5418	0.0744	17,774.80
												50	5			25

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	3.26	9.53	11.08	15.10	16.21	11.21	16.12	16.21	11.06	15.90	0.00	13.18	13.08	0.97	0.00	12.91

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	4.6171	18.1595	51.2272	0.1578	13.0334	0.1838	13.2172	3.4904	0.1728	3.6632	0.0000	14,505.8544	14,505.8544	0.6978	0.0000	14,523.2996
Unmitigated	4.8911	20.1299	58.2859	0.1865	15.5556	0.2154	15.7710	4.1658	0.2026	4.3684	0.0000	17,138.5451	17,138.5451	0.8009	0.0000	17,158.5673

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	9,505,475
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	1,132,841
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	23,730,351
Total	17,835.88	20,633.25	12,037.50	41,019,581	34,368,667

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	1,907.2248	1,907.2248	0.0787	0.0163	1,914.0480
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	1,907.2248	1,907.2248	0.0787	0.0163	1,914.0480
Natural Gas Mitigated	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1600e-003	8.7700e-003	480.9647
Natural Gas Unmitigated	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1600e-003	8.7700e-003	480.9647

5.2 Energy by Land Use - Natural Gas

Unmitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	6.3798e+006	0.0344	0.2940	0.1251	1.8800e-003		0.0238	0.0238		0.0238	0.0238	0.0000	340.4502	340.4502	6.5300e-003	6.2400e-003	342.4733
High Turnover (Sit Down Restaurant)	1.9449e+006	0.0105	0.0953	0.0801	5.7000e-004		7.2500e-003	7.2500e-003		7.2500e-003	7.2500e-003	0.0000	103.7873	103.7873	1.9900e-003	1.9000e-003	104.4040
Regional Shopping Center	635000	3.4200e-003	0.0311	0.0262	1.9000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	33.8860	33.8860	6.5000e-004	6.2000e-004	34.0874
Total		0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1700e-003	8.7600e-003	480.9647

Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	6.3798e+06	0.0344	0.2940	0.1251	1.8800e-003		0.0238	0.0238		0.0238	0.0238	0.0000	340.4502	340.4502	6.5300e-003	6.2400e-003	342.4733
High Turnover (Sit Down Restaurant)	1.9449e+06	0.0105	0.0953	0.0801	5.7000e-004		7.2500e-003	7.2500e-003		7.2500e-003	7.2500e-003	0.0000	103.7873	103.7873	1.9900e-003	1.9000e-003	104.4040
Regional Shopping Center	635000	3.4200e-003	0.0311	0.0262	1.9000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	33.8860	33.8860	6.5000e-004	6.2000e-004	34.0874
Total		0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1700e-003	8.7600e-003	480.9647

5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	2.08007e+06	662.7533	0.0274	5.6600e-003	665.1243
High Turnover (Sit Down Restaurant)	273600	87.1748	3.6000e-003	7.4000e-004	87.4867
Regional Shopping Center	3.6322e+06	1,157.2967	0.0478	9.8900e-003	1,161.4370
Total		1,907.2248	0.0787	0.0163	1,914.0480

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
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Land Use	kWh/yr	MT/yr			
Apartments Low Rise	2.08007e+006	662.7533	0.0274	5.6600e-003	665.1243
High Turnover (Sit Down Restaurant)	273600	87.1748	3.6000e-003	7.4000e-004	87.4867
Regional Shopping Center	3.6322e+006	1,157.2967	0.0478	9.8900e-003	1,161.4370
Total		1,907.2248	0.0787	0.0163	1,914.0480

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	3.4545	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073
Unmitigated	3.4545	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					

Architectural Coating	0.3071					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	2.9811					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	7.2800e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	72.0411	72.0411	1.3800e-003	1.3200e-003	72.4693
Landscaping	0.1590	0.0601	5.1861	2.7000e-004		0.0284	0.0284		0.0284	0.0284	0.0000	8.4308	8.4308	8.2900e-003	0.0000	8.6381
Total	3.4545	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	tons/yr										MT/yr						
Architectural Coating	0.3071						0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	
Consumer Products	2.9811						0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	
Hearth	7.2800e-003	0.0622	0.0265	4.0000e-004			5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	72.0411	72.0411	1.3800e-003	1.3200e-003	72.4693
Landscaping	0.1590	0.0601	5.1861	2.7000e-004			0.0284	0.0284		0.0284	0.0284	0.0000	8.4308	8.4308	8.2900e-003	0.0000	8.6381
Total	3.4545	0.1223	5.2125	6.7000e-004			0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

7.0 Water Detail

7.1 Mitigation Measures Water

	Total CO2	CH4	N2O	CO2e
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Category	MT/yr			
Mitigated	384.9289	1.9172	0.0480	447.1742
Unmitigated	384.9289	1.9172	0.0480	447.1742

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	32.577 / 20.5377	218.1907	1.0701	0.0268	252.9417
High Turnover (Sit Down Restaurant)	2.2765 / 0.145309	10.6813	0.0746	1.8400e-003	13.0934
Regional Shopping Center	23.518 / 14.4143	156.0569	0.7725	0.0194	181.1392
Total		384.9289	1.9172	0.0480	447.1743

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	32.577 / 20.5377	218.1907	1.0701	0.0268	252.9417
High Turnover (Sit Down Restaurant)	2.2765 / 0.145309	10.6813	0.0746	1.8400e-003	13.0934
Regional Shopping Center	23.518 / 14.4143	156.0569	0.7725	0.0194	181.1392

Total		384.9289	1.9172	0.0480	447.1743
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8.0 Waste Detail

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	132.4780	7.8292	0.0000	328.2086
Unmitigated	132.4780	7.8292	0.0000	328.2086

8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	230	46.6879	2.7592	0.0000	115.6674
High Turnover (Sit Down Restaurant)	89.25	18.1169	1.0707	0.0000	44.8840
Regional Shopping Center	333.38	67.6731	3.9994	0.0000	167.6573
Total		132.4780	7.8292	0.0000	328.2086

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	230	46.6879	2.7592	0.0000	115.6674
High Turnover (Sit Down Restaurant)	89.25	18.1169	1.0707	0.0000	44.8840
Regional Shopping Center	333.38	67.6731	3.9994	0.0000	167.6573
Total		132.4780	7.8292	0.0000	328.2086

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

Red Hill Specific Plan(mitigated) - Orange County, Annual

**Red Hill Specific Plan(mitigated)
Orange County, Annual**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
High Turnover (Sit Down Restaurant)	7.50	1000sqft	0.17	7,500.00	0
Apartments Low Rise	500.00	Dwelling Unit	30.00	500,000.00	1430
Regional Shopping Center	317.50	1000sqft	5.83	317,500.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8	Operational Year	2019		
Utility Company	Southern California Edison				
CO2 Intensity (lb/MW hr)	702.44	CH4 Intensity (lb/MW hr)	0.029	N2O Intensity (lb/MW hr)	0.006

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Total project area is 36 acres per project description.

Construction Phase - Operational only run

Grading -

Architectural Coating - Per SCAQMD Rule 1113 requiring VOC 50g/L

Vehicle Trips - per traffic study

Woodstoves - Per SCAQMD regulations no wood stoves/fireplaces are permitted in new residential development.

Category	tons/yr										MT/yr					
	Area	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003
Energy	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	2,385.3483	2,385.3483	0.0879	0.0251	2,395.0127
Mobile	4.8911	20.1299	58.2859	0.1865	15.5556	0.2154	15.7710	4.1658	0.2026	4.3684	0.0000	17,138.5451	17,138.5451	0.8009	0.0000	17,158.5673
Waste						0.0000	0.0000		0.0000	0.0000	132.4780	0.0000	132.4780	7.8292	0.0000	328.2086
Water						0.0000	0.0000		0.0000	0.0000	18.5186	366.4103	384.9289	1.9172	0.0480	447.1742
Total	8.3186	20.6726	63.7297	0.1898	15.5556	0.2822	15.8378	4.1658	0.2694	4.4352	150.9966	19,970.7757	20,121.7723	10.6449	0.0744	20,410.0702

Mitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Area	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073
Energy	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	2,367.9611	2,367.9611	0.0872	0.0249	2,377.5633
Mobile	4.2571	15.5705	41.9528	0.1201	9.7195	0.1422	9.8617	2.6029	0.1337	2.7366	0.0000	11,046.7716	11,046.7716	0.5624	0.0000	11,060.8309
Waste						0.0000	0.0000		0.0000	0.0000	66.2390	0.0000	66.2390	3.9146	0.0000	164.1043
Water						0.0000	0.0000		0.0000	0.0000	14.8149	310.3977	325.2125	1.5344	0.0386	375.0706
Total	7.6846	16.1132	47.3966	0.1235	9.7195	0.2090	9.9285	2.6029	0.2005	2.8034	81.0539	13,805.6023	13,886.6562	6.1083	0.0648	14,058.6764

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	7.62	22.06	25.63	34.94	37.52	25.94	37.31	37.52	25.59	36.79	46.32	30.87	30.99	42.62	12.91	31.12

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

- Improve Destination Accessibility
- Increase Transit Accessibility
- Employee Vanpool/Shuttle
- Provide Ride Sharing Program

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	4.2571	15.5705	41.9528	0.1201	9.7195	0.1422	9.8617	2.6029	0.1337	2.7366	0.0000	11,046.7716	11,046.7716	0.5624	0.0000	11,060.8309
Unmitigated	4.8911	20.1299	58.2859	0.1865	15.5556	0.2154	15.7710	4.1658	0.2026	4.3684	0.0000	17,138.5451	17,138.5451	0.8009	0.0000	17,158.5673

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	3,325.00	3,580.00	3035.00	11,344,944	7,109,569
High Turnover (Sit Down Restaurant)	953.63	1,187.78	988.80	1,352,064	843,962
Regional Shopping Center	13,557.25	15,865.48	8013.70	28,322,573	17,676,522
Total	17,835.88	20,633.25	12,037.50	41,019,581	25,630,053

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
High Turnover (Sit Down Restaurant)	16.60	8.40	6.90	8.50	72.50	19.00	37	20	43
Regional Shopping Center	16.60	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
High Turnover (Sit Down Restaurant)	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041
Regional Shopping Center	0.552373	0.044229	0.211123	0.119112	0.017503	0.005797	0.024455	0.015685	0.001637	0.001633	0.004830	0.000583	0.001041

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Install High Efficiency Lighting

Install Energy Efficient Appliances

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	1,889.8377	1,889.8377	0.0780	0.0161	1,896.5986
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	1,907.2248	1,907.2248	0.0787	0.0163	1,914.0480
NaturalGas Mitigated	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1600e-003	8.7700e-003	480.9647
NaturalGas Unmitigated	0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1600e-003	8.7700e-003	480.9647

5.2 Energy by Land Use - NaturalGas

Unmitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	6.3798e+06	0.0344	0.2940	0.1251	1.8800e-003		0.0238	0.0238		0.0238	0.0238	0.0000	340.4502	340.4502	6.5300e-003	6.2400e-003	342.4733
High Turnover (Sit Down Restaurant)	1.9449e+06	0.0105	0.0953	0.0801	5.7000e-004		7.2500e-003	7.2500e-003		7.2500e-003	7.2500e-003	0.0000	103.7873	103.7873	1.9900e-003	1.9000e-003	104.4040
Regional Shopping Center	635000	3.4200e-003	0.0311	0.0262	1.9000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	33.8860	33.8860	6.5000e-004	6.2000e-004	34.0874
Total		0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1700e-003	8.7600e-003	480.9647

Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	6.3798e+06	0.0344	0.2940	0.1251	1.8800e-003		0.0238	0.0238		0.0238	0.0238	0.0000	340.4502	340.4502	6.5300e-003	6.2400e-003	342.4733
High Turnover (Sit Down Restaurant)	1.9449e+06	0.0105	0.0953	0.0801	5.7000e-004		7.2500e-003	7.2500e-003		7.2500e-003	7.2500e-003	0.0000	103.7873	103.7873	1.9900e-003	1.9000e-003	104.4040
Regional Shopping Center	635000	3.4200e-003	0.0311	0.0262	1.9000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	33.8860	33.8860	6.5000e-004	6.2000e-004	34.0874
Total		0.0483	0.4204	0.2313	2.6400e-003		0.0334	0.0334		0.0334	0.0334	0.0000	478.1235	478.1235	9.1700e-003	8.7600e-003	480.9647

5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
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Land Use	kWh/yr	MT/yr			
Apartments Low Rise	2.08007e+06	662.7533	0.0274	5.6600e-003	665.1243
High Turnover (Sit Down Restaurant)	273600	87.1748	3.6000e-003	7.4000e-004	87.4867
Regional Shopping Center	3.6322e+06	1,157.2967	0.0478	9.8900e-003	1,161.4370
Total		1,907.2248	0.0787	0.0163	1,914.0480

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	2.0255e+06	645.3661	0.0266	5.5100e-003	647.6749
High Turnover (Sit Down Restaurant)	273600	87.1748	3.6000e-003	7.4000e-004	87.4867
Regional Shopping Center	3.6322e+06	1,157.2967	0.0478	9.8900e-003	1,161.4370
Total		1,889.8377	0.0780	0.0161	1,896.5986

6.0 Area Detail

6.1 Mitigation Measures Area

- Use Low VOC Paint - Residential Interior
- Use Low VOC Paint - Residential Exterior
- Use Low VOC Paint - Non-Residential Interior
- Use Low VOC Paint - Non-Residential Exterior
- Use only Natural Gas Hearths
- Use Low VOC Cleaning Supplies

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073
Unmitigated	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.2318					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	2.9811					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	7.2800e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	72.0411	72.0411	1.3800e-003	1.3200e-003	72.4693
Landscaping	0.1590	0.0601	5.1861	2.7000e-004		0.0284	0.0284		0.0284	0.0284	0.0000	8.4308	8.4308	8.2900e-003	0.0000	8.6381
Total	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.2318					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	2.9811					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	7.2800e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	72.0411	72.0411	1.3800e-003	1.3200e-003	72.4693
Landscaping	0.1590	0.0601	5.1861	2.7000e-004		0.0284	0.0284		0.0284	0.0284	0.0000	8.4308	8.4308	8.2900e-003	0.0000	8.6381
Total	3.3792	0.1223	5.2125	6.7000e-004		0.0334	0.0334		0.0334	0.0334	0.0000	80.4720	80.4720	9.6700e-003	1.3200e-003	81.1073

7.0 Water Detail

7.1 Mitigation Measures Water

Install Low Flow Bathroom Faucet

Install Low Flow Kitchen Faucet

Install Low Flow Toilet

Install Low Flow Shower

Use Water Efficient Irrigation System

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	325.2125	1.5344	0.0386	375.0706
Unmitigated	384.9289	1.9172	0.0480	447.1742

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	32.577 / 20.5377	218.1907	1.0701	0.0268	252.9417
High Turnover (Sit Down Restaurant)	2.2765 / 0.145309	10.6813	0.0746	1.8400e-003	13.0934
Regional Shopping Center	23.518 / 14.4143	156.0569	0.7725	0.0194	181.1392
Total		384.9289	1.9172	0.0480	447.1743

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	26.0616 / 19.2849	184.6580	0.8565	0.0216	212.4950
High Turnover (Sit Down Restaurant)	1.8212 / 0.136445	8.6165	0.0597	1.4700e-003	10.5465
Regional Shopping Center	18.8144 / 13.535	131.9380	0.6183	0.0156	152.0292
Total		325.2125	1.5345	0.0386	375.0706

8.0 Waste Detail

8.1 Mitigation Measures Waste

Institute Recycling and Composting Services

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	66.2390	3.9146	0.0000	164.1043
Unmitigated	132.4780	7.8292	0.0000	328.2086

8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	230	46.6879	2.7592	0.0000	115.6674
High Turnover (Sit Down Restaurant)	89.25	18.1169	1.0707	0.0000	44.8840
Regional Shopping Center	333.38	67.6731	3.9994	0.0000	167.6573
Total		132.4780	7.8292	0.0000	328.2086

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	115	23.3440	1.3796	0.0000	57.8337
High Turnover (Sit Down Restaurant)	44.625	9.0585	0.5353	0.0000	22.4420
Regional Shopping Center	166.69	33.8366	1.9997	0.0000	83.8287
Total		66.2390	3.9146	0.0000	164.1043

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
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11.0 Vegetation

APPENDIX C

CULTURAL AND TRIBAL RESOURCES

Natural History Museum
of Los Angeles County
900 Exposition Boulevard
Los Angeles, CA 90007

tel 213.763.DINO
www.nhm.org



Vertebrate Paleontology Section
Telephone: (213) 763-3325

e-mail: smcleod@nhm.org

27 June 2017

Kimley-Horn and Associates, Inc.
765 The City Drive, Suite 200
Orange, CA 92868

Attn: Ashley Brodtkin

re: Paleontological resources for the proposed Red Hill Corridor Specific Plan Project, in the
City of Tustin, Orange County, project area

Dear Ashley:

I have conducted a thorough check of our paleontology collection records for the locality and specimen data for the proposed Red Hill Corridor Specific Plan Project, in the City of Tustin, Orange County, project area as outlined on the portion of the Tustin USGS topographic quadrangle map that you sent to me via e-mail on 12 June 2017. We do not have any vertebrate fossil localities that lie within the proposed project area boundaries, but we do have localities nearby from the same sedimentary deposits that occur in the proposed project area, either at the surface or at depth.

Surface sediments throughout the entire proposed project area and in the surrounding vicinity consist of younger terrestrial Quaternary Alluvium, derived primarily as alluvial fan deposits from the hills of the Santa Ana Mountains to the east. These younger Quaternary deposits typically do not contain significant vertebrate fossils, at least in the uppermost layers, but are underlain by older Quaternary deposits at varying depths that do contain significant vertebrate fossils. North-northwest of the proposed project area, along Rio Vista Avenue south of Lincoln Avenue, we have a vertebrate fossil locality, LACM 1652, that produced a fossil specimen of sheep, *Ovis*. Our closest fossil locality in older Quaternary sediments is LACM 4943, also situated north-northwest of the proposed project area almost due east of locality LACM 1652 along Fletcher Avenue east of Glassell Street east of the Santa Ana River, that

produced a specimen of fossil horse, *Equus*, at a depth of 8-10 feet below the surface. Southeast of the proposed project area, in what is now the Orange County Great Park near the intersection of C Street and 5th Street, our older Quaternary vertebrate fossil locality LACM 7867 produced fossil specimens of pocket gopher, *Thomomys*, at a depth of 25 feet below the surface.

Grading or shallow excavations in the uppermost few feet of the younger Quaternary alluvial sediments exposed throughout the entire proposed project area are unlikely to uncover significant fossil vertebrate remains. Deeper excavations in the proposed project area that extend down into older Quaternary sediments, however, may well encounter significant vertebrate fossils. Any substantial excavations below the uppermost layers in the proposed project area, therefore, should be closely monitored to quickly and professionally collect any specimens without impeding development. Sediment samples should also be collected and processed to determine the small fossil potential in the proposed project area. Any fossils recovered during mitigation should be deposited in an accredited and permanent scientific institution for the benefit of current and future generations.

This records search covers only the vertebrate paleontology records of the Natural History Museum of Los Angeles County. It is not intended to be a thorough paleontological survey of the proposed project area covering other institutional records, a literature survey, or any potential on-site survey.

Sincerely,

A handwritten signature in cursive script that reads "Samuel A. McLeod".

Samuel A. McLeod, Ph.D.
Vertebrate Paleontology

enclosure: invoice

South Central Coastal Information Center

California State University, Fullerton
Department of Anthropology MH-426
800 North State College Boulevard
Fullerton, CA 92834-6846
657.278.5395

California Historical Resources Information System

Los Angeles, Orange, Ventura and San Bernardino Counties

sccic@fullerton.edu

6/20/2017

SCCIC File #: 17756.3782

Morgan Cowick
Kimley-Horn and Associates, Inc.
765 The City Drive, Suite 200
Orange, CA 92868

Re: Record Search Results for Red Hill Avenue Specific Plan Program Environmental Impact Report

The South Central Coastal Information Center received your records search request for the project area referenced above, located on the Tustin, CA USGS 7.5' quadrangle. The following summary reflects the results of the records search for the project area and a ½-mile radius. The search includes a review of all recorded archaeological and built-environment resources as well as a review of cultural resource reports on file. In addition, the California Points of Historical Interest (SPHI), the California Historical Landmarks (SHL), the California Register of Historical Resources (CAL REG), and the National Register of Historic Places (NRHP), the California State Historic Properties Directory (HPD) listings were reviewed for the above referenced project site. Due to the sensitive nature of cultural resources, archaeological site locations are not released.

RECORDS SEARCH RESULTS SUMMARY

Archaeological Resources	Within project area: 1 Within project radius: 1
Built-Environment Resources	Within project area: 1 Within project radius: 4
Reports and Studies	Within project area: 12 Within project radius: 29
OHP Historic Properties Directory (HPD)	Within project area: 1 Within ¼-mile radius: 15
California Points of Historical Interest (SPHI)	Within project area: 0 Within ¼-mile radius: 0
California Historical Landmarks (SHL)	Within project area: 0 Within ¼-mile radius: 0
California Register of Historical Resources (CAL REG)	Within project area: 0 Within ¼-mile radius: 0
National Register of Historic Places (NRHP)	Within project area: 0 Within ¼-mile radius: 0

Archaeological Determinations of Eligibility (ADOE):	Within project area: 0 Within project radius: 0
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HISTORIC MAP REVIEW – Santa Ana, CA (1896, 1901) 15’ USGS historic maps indicate that in 1896, there were several roads and five buildings in the project area. A branch of the S.P. Rail Road ran near the center of the project area. There were several roads and buildings within the project search radius. The historic place names of Tustin and Aliso were nearby. The Atchison Topeka and Sante Fe Rail Road (Los Angeles and San Diego Branch) ran near the southern boundary of the search radius. In 1901, there was little to no visible change and all previously mentioned features still remained.

RECOMMENDATIONS

While there are 12 studies within the project area, very few are cultural resource surveys. Therefore, little is known about the archaeological sensitivity for the entire project area. Nevertheless, prehistoric and historic resources have been recorded within and adjacent to the project area. Areas with previously recorded resources may be sensitive for other discoveries. Because of the potential for archaeological resources to be discovered during project activities, a qualified cultural resources consultant should be retained to provide information about known locations of recorded resources so that they can be avoided, if possible. Undisturbed ground surfaces should be surveyed by a qualified cultural resources consultant prior to ground-disturbing activities. Additionally, if ground surfaces are obscured by urban development, a qualified cultural resources consultant should be retained to monitor any ground disturbing activities. It is also recommended that any buildings, structures or objects (45 years and older and within or adjacent to the project area) be identified, recorded, and evaluated for significance as may be required by the lead agency. Finally, the Native American Heritage Commission should be consulted to identify if any additional traditional cultural properties or other sacred sites are known to be in the area.

For your convenience, you may find a professional consultant* at www.chrisinfo.org. Any resulting reports by the qualified consultant should be submitted to the South Central Coastal Information Center as soon as possible.

*The SCCIC does not endorse any particular consultant and makes no claims about the qualifications of any person listed. Each consultant on this list self-reports that they meet current professional standards.

If you have any questions regarding the results presented herein, please contact the office at 657.278.5395 Monday through Thursday 9:00 am to 3:30 pm.

Should you require any additional information for the above referenced project, reference the SCCIC number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

Thank you for using the [California Historical Resources Information System](#),

Isabela Kott
GIS Technician/Staff Researcher

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

AB52 NOTIFICATION REQUEST LIST

August 24, 2016

<p>Andrew Salas, Chairman Gabrieleño Band of Mission Indians – Kizh Nation P.O. Box 393 Covina, CA 91723</p>	<p>gabrielenoindians@yahoo.com</p>	<p>(626) 926-4131</p>
<p>Joyce Stanfield Perry Juaneño Band of Mission Indians Tribal Manager 4955 Paseo Segovia Irvine, CA 92603</p>	<p>kaamalam@gmail.com</p>	<p>(949) 293-8522</p>
<p>Joseph Ontiveros Cultural Resource Director Soboba Band of Luiseno Indians P.O. Box 487 San Jacinto, CA 92581</p>	<p>jontiveros@soboba-nsn.gov</p>	<p>Office: 941-654-5544 xt 4137 Cell: 951-663-5279</p>
<p>Michael Mirelez Cultural Resources Coordinator Torres Martinez Desert Cahuilla Indians P.O. Box 1160 Thermal, CA 92274</p>	<p>mmirelez@tmdci.org</p>	<p>Office: 760-397-0300 xt. 1213 Cell: 760-399-0022</p>
<p>Anthony Morales, Chief San Gabriel Band of Mission Indians P.O. Box 693 San Gabriel, CA 91778</p>	<p>GTTribalcouncil@aol.com</p>	<p>Fax: 626-286-1262 Phone: 626-483-3564</p>

Community Development Department



April 13, 2017

Andrew Salas, Chairman
Gabrieleño Band of Mission Indians – Kizh Nation
P.O. Box 393
Covina, CA 91723

Subject: Formal Notification of Consultation Opportunity Pursuant to California Public Resources Code Section 21080.3.1(d) and Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Mr. Salas:

Pursuant to Assembly Bill (AB) 52 (California Public Resources Code [PRC] Section 21080.3.1(b)) and Senate Bill (SB) 18 (California Government Code Section 65352.3), the Gabrieleño Band of Mission Indians has submitted a request for notification of preparation of an Environmental Impact Report (EIR), Negative Declaration (ND), or Mitigated Negative Declaration (MND) for projects that are within the geographic area traditionally and culturally affiliated with this tribe. The City of Tustin is, therefore, providing notification to you of the preparation of a Program EIR for the proposed Red Hill Avenue Specific Plan Project.

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to a section(s) of the City's General Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

Pursuant to SB 18 and AB 52, you have 30-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica H. Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica H. Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,



Elizabeth A. Binsack
Director of Community Development

C: Justina Willkom, Assistant Director of Community Development
Erica H. Demkowicz AICP, Senior Planner

Attachment: Red Hill Avenue Specific Plan Project Area Map

Community Development Department



April 13, 2017

Joyce Stanfield Perry
Juaneño Band of Mission Indians, Tribal Manager
4955 Paseo Segovia
Irvine, CA 92603

Subject: Formal Notification of Consultation Opportunity Pursuant to California Public Resources Code Section 21080.3.1(d) and Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Ms. Perry:

Pursuant to Assembly Bill (AB) 52 (California Public Resources Code [PRC] Section 21080.3.1(b)) and Senate Bill (SB) 18 (California Government Code Section 65352.3), the Gabrieleño Band of Mission Indians has submitted a request for notification of preparation of an Environmental Impact Report (EIR), Negative Declaration (ND), or Mitigated Negative Declaration (MND) for projects that are within the geographic area traditionally and culturally affiliated with this tribe. The City of Tustin is, therefore, providing notification to you of the preparation of a Program EIR for the proposed Red Hill Avenue Specific Plan Project.

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
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Pursuant to SB 18 and AB 52, you have 30-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica H. Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica H. Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

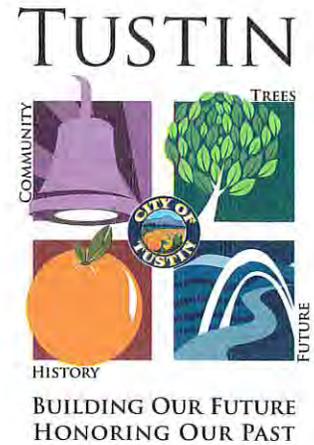


Elizabeth A. Binsack
Director of Community Development

C: Justina Willkom, Assistant Director of Community Development
Erica H. Demkowicz AICP, Senior Planner

Attachment: Red Hill Avenue Specific Plan Project Area Map

Community Development Department



April 13, 2017

Anthony Morales, Chief
San Gabriel Band of Mission Indians
P.O. Box 693
San Gabriel, CA 91778

Subject: Formal Notification of Consultation Opportunity Pursuant to California Public Resources Code Section 21080.3.1(d) and Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Chief Morales:

Pursuant to Assembly Bill (AB) 52 (California Public Resources Code [PRC] Section 21080.3.1(b)) and Senate Bill (SB) 18 (California Government Code Section 65352.3), the Gabrieleño Band of Mission Indians has submitted a request for notification of preparation of an Environmental Impact Report (EIR), Negative Declaration (ND), or Mitigated Negative Declaration (MND) for projects that are within the geographic area traditionally and culturally affiliated with this tribe. The City of Tustin is, therefore, providing notification to you of the preparation of a Program EIR for the proposed Red Hill Avenue Specific Plan Project.

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

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Pursuant to SB 18 and AB 52, you have 30-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

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City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica H. Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,



Elizabeth A. Binsack
Director of Community Development

C: Justina Willkom, Assistant Director of Community Development
Erica H. Demkowicz AICP, Senior Planner

Attachment: Red Hill Avenue Specific Plan Project Area Map

Community Development Department



April 13, 2017

Joseph Ontiveros
Cultural Resource Director
Soboba Band of Luiseno Indians
P.O. Box 487
San Jacinto, CA 92581

Subject: Formal Notification of Consultation Opportunity Pursuant to California Public Resources Code Section 21080.3.1(d) and Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Mr. Ontiveros:

Pursuant to Assembly Bill (AB) 52 (California Public Resources Code [PRC] Section 21080.3.1(b)) and Senate Bill (SB) 18 (California Government Code Section 65352.3), the Gabrieleño Band of Mission Indians has submitted a request for notification of preparation of an Environmental Impact Report (EIR), Negative Declaration (ND), or Mitigated Negative Declaration (MND) for projects that are within the geographic area traditionally and culturally affiliated with this tribe. The City of Tustin is, therefore, providing notification to you of the preparation of a Program EIR for the proposed Red Hill Avenue Specific Plan Project.

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The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

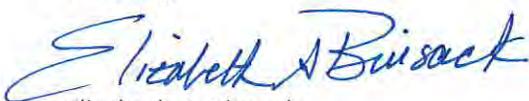
- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
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Pursuant to SB 18 and AB 52, you have 30-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica H. Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica H. Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,



Elizabeth A. Binsack
Director of Community Development

C: Justina Willkom, Assistant Director of Community Development
Erica H. Demkowicz AICP, Senior Planner

Attachment: Red Hill Avenue Specific Plan Project Area Map

Community Development Department



April 13, 2017

Michael Mirelez
Cultural Resources Coordinator
Torres Martinez Desert Cahuilla Indians
P.O. Box 1160
Thermal, CA 92274

Subject: Formal Notification of Consultation Opportunity Pursuant to California Public Resources Code Section 21080.3.1(d) and Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Mr. Mirelez:

Pursuant to Assembly Bill (AB) 52 (California Public Resources Code [PRC] Section 21080.3.1(b)) and Senate Bill (SB) 18 (California Government Code Section 65352.3), the Gabrieleño Band of Mission Indians has submitted a request for notification of preparation of an Environmental Impact Report (EIR), Negative Declaration (ND), or Mitigated Negative Declaration (MND) for projects that are within the geographic area traditionally and culturally affiliated with this tribe. The City of Tustin is, therefore, providing notification to you of the preparation of a Program EIR for the proposed Red Hill Avenue Specific Plan Project.

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to a section(s) of the City's General Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

Pursuant to SB 18 and AB 52, you have 30-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica H. Demkowicz AICP, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica H. Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,



Elizabeth A. Binsack
Director of Community Development

C: Justina Willkom, Assistant Director of Community Development
Erica H. Demkowicz AICP, Senior Planner

Attachment: Red Hill Avenue Specific Plan Project Area Map

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:</p> <p>Andrew Salas, Chairman Gabrieleño Band of Mission Indians – Kizh Nation P.O. Box 393 Covina, CA 91723</p>	B. Received by (Printed Name)	C. Date of Delivery 4/24/07
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
 9590 9402 1508 5362 3363 63	<p>3. Service Type</p> <input type="checkbox"/> Priority Mail Express® <input checked="" type="checkbox"/> Registered Mail™ <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<p>2. Article Number (Transfer from service label)</p> <p>7015 0640 0001 7259 1729</p>	<input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Return Receipt for Merchandise <input checked="" type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery	
PS Form 3811, July 2015 PSN 7530-02-000-9053		Domestic Return Receipt

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<p>1. Article Addressed to:</p> <p>Michael Mirelez Cultural Resources Coordinator Torres Martinez Desert Cahuilla Indians P.O. Box 1160 Thermal, CA 92274</p>	B. Received by (Printed Name)	C. Date of Delivery
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
 9590 9402 1508 5362 3363 70	<p>3. Service Type</p> <input type="checkbox"/> Priority Mail Express® <input checked="" type="checkbox"/> Registered Mail™ <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<p>2. Article Number (Transfer from service label)</p> <p>7015 0640 0001 7259 1736</p>	<input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Return Receipt for Merchandise <input checked="" type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery	
PS Form 3811, July 2015 PSN 7530-02-000-9053		Domestic Return Receipt

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<p>1. Article Addressed to:</p> <p>Joseph Ontiveros Cultural Resource Director Soboba Band of Luiseno Indians P.O. Box 487 San Jacinto, CA 92581</p>	B. Received by (Printed Name)	C. Date of Delivery
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
 9590 9402 1508 5362 3363 56	<p>3. Service Type</p> <input type="checkbox"/> Priority Mail Express® <input checked="" type="checkbox"/> Registered Mail™ <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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<p>1. Article Addressed to:</p> <p>Joyce Stanfield Perry Juaneño Band of Mission Indians Tribal Manager 4955 Paseo Segovia Irvine, CA 92603</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p style="text-align: center;">APR 22 2017</p>																
 9590 9402 1508 5362 3363 87	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input checked="" type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input checked="" type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input checked="" type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input checked="" type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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<p>1. Article Addressed to:</p> <p>Anthony Morales, Chief San Gabriel Band of Mission Indians P.O. Box 693 San Gabriel, CA 91778</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p style="text-align: center;">SAN GABRIEL CA 91778 APR 24 2017 USPS</p>																
 9590 9402 1508 5362 3363 49	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input checked="" type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input checked="" type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input checked="" type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input checked="" type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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October 26, 2017
Ralph Goff
Campo Band of Mission Indians
36190 Church Road, Ste. 1
Campo, CA 919061

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Chairperson Goff:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code § 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes approximately 500 additional residential units (primarily integrated mixed use) and 325,000 sf of additional non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there are no recorded archeological or built environment resources within the boundaries of the proposed Specific Plan area. One structure at 14462 Red Hill Avenue was constructed in 1915; the site is adjacent to but not within the Specific Plan area. One archaeological resource was recorded within 0.5 mile of the Specific Plan area.

Pursuant to SB 18, you have 90 days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Robert Pinto
Ewiiapaayp Tribal Office
4054 Willows Road
Alpine, CA 91901

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Chairperson Pinto:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

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The following City of Tustin discretionary actions are required to implement the proposed project:

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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90 days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Michael Garcia
Ewiiapaayp Tribal Office
4054 Willows Road
Alpine, CA 91901

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Vice Chairperson Garcia:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

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City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Andrew Salas
Gabrieleno Band of Mission Indians – Kizh Nation
P.O. Box 393
Covina, CA 91723

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Salas:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Anthony Morales
Gabieleno/Tongva San Gabriel Band of Mission Indians
P.O. Box 693
San Gabriel, CA 91778

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Morales:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Sandonne Goad
Gabrieleno/Tongva Nation
106 ½ Judge John Aiso Street, #231
Los Angeles, CA 90012

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Chairperson Goad:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Robert Dorame
Gabrielino Tongva Indians of
California Tribal Council
P.O. Box 490
Bellflower, CA 90707

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Dorame:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Charles Alvarez
Gabrielino–Tongva Tribe
23454 Vanowen Street
West Hills, CA 91307

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3 for the Red Hill Avenue Specific Plan Project

Dear Mr. Alvarez:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Erica Pinto
Jamul Indian Village
P.O. Box 612
Jamul, CA 91935

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Pinto:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
- **General Plan Amendment:** Approval of an amendment to the land uses within the Specific Plan Area to a designation of Specific Plan.
- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Sonia Johnston
Juaneno Band of Mission Indians
P.O. Box 25628
Santa Ana, CA 92799

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Johnston:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
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- **Specific Plan:** Approval of a Specific Plan to provide the land use and zoning guidance for the proposed uses in the Specific Plan area. A change of zone will be processed as part of approval of the Specific Plan.

The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

If you have any questions prior to submitting a written request for consultation, please contact Erica Demkowicz at (714) 573-3127 or by e-mail at edemkowicz@tustinca.org. If the City does not receive such a request within the specified time period, we will conclude the consultation period finding that consultation with the City was not requested.

Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Matias Belardes
Juaneno Band of Missin Indians Acjachemen Nation
32161 Avenida Los Amigos
San Juan Capistrano, CA 92675

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Belardes:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

- **Environmental Impact Report:** Certification of the Red Hill Avenue Specific Plan Final EIR.
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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

Pursuant to SB 18, you have 90-days from the receipt of this letter, which has been sent via certified U.S. Mail with return receipt requested, to request consultation, in writing, with the City of Tustin. Please send your request to:

Erica Demkowicz, Senior Planner
City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Teresa Romero
Juaneno Band of Mission Indians Acjachemen Nation
31411-A La Matanza Street
San Juan Capistrano, CA 92675

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Chairperson Romero:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

The following City of Tustin discretionary actions are required to implement the proposed project:

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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

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City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map

October 26, 2017
Andrew Salas, Chairman
Gabrieleño Band of Mission Indians – Kizh Nation
P.O. Box 393
Covina, CA 91723

Subject: Formal Notification of Consultation Opportunity Pursuant Government Code Section 65352.3
for the Red Hill Avenue Specific Plan Project

Dear Mr. Salas:

The City of Tustin is preparing a Specific Plan, referred to as the Red Hill Avenue Specific Plan. Along with the Specific Plan, a Zoning Amendment, General Plan Amendment, and associated Program EIR are being prepared. The City is requesting your review of the proposed project to determine if formal consultation is appropriate pursuant to Senate Bill (SB) 18 (California Government Code Section 65352.3).

The Red Hill Avenue Specific Plan includes a portion of Red Hill Avenue bordered by Bryan Avenue to the north and Walnut Avenue to the south, bisected by Interstate 5 (I-5) within the City of Tustin. In general, the project site extends one parcel east and west of the Red Hill Avenue right-of-way. Between San Juan Street and Bryan Avenue, the Specific Plan area does not extend beyond the existing right-of-way. Between Mitchell Avenue and Walnut Avenue, the boundary is generally at the right-of-way for Red Hill Avenue except for two properties as shown on Figure 1. The project site/planning area is approximately 40 acres and presently includes approximately 296,446 square feet (sf) of existing non-residential uses (primarily commercial) and 21 dwelling units. See Figure 1 – Red Hill Avenue Specific Plan Project Area Map.

The Specific Plan would establish a comprehensive plan for the area that will include a complementary mix of land uses including residential, retail and commercial that will capitalize on the area's current land use, transportation, and infrastructure opportunities. Within a development footprint of approximately 40 acres, the Specific Plan would provide for an estimated threshold of potential new growth that includes the addition of approximately 500 residential units (primarily integrated mixed use) and 325,000 sf of non-residential uses. It is anticipated that approximately 395 residential units and 175,000 sf of non-residential uses would be located north of I-5; and 105 residential uses and 150,000 sf of non-residential uses would be south of I-5. Streetscape improvements are also proposed.

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The Native American Heritage Commission (NAHC) has been notified and a Sacred Lands File search was requested. The NAHC responded that the Sacred Lands File search was negative. Additionally, the records search at the South Central Coastal Information Center indicates that there is one recorded archaeological resource and one built-environment resource.

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City of Tustin
Community Development Department
300 Centennial Way
Tustin, California 92780

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Sincerely,

Erica Demkowicz, Senior Planner
City of Tustin

Attachment: Red Hill Avenue Specific Plan Project Area Map



GABRIELEÑO BAND OF MISSION INDIANS - KIZH NATION

Historically known as The San Gabriel Band of Mission Indians
recognized by the State of California as the aboriginal tribe of the Los Angeles basin

City of Tustin
300 Centennial Way
Tustin, CA 92780

December 5, 2017

Re: SB 18 Consultation (Government Code Section 65352.3) Tustin Red Hill Ave Specific Plan

Dear Erica H. Demkowicz,

Please find this letter as a written request for consultation regarding the above-mentioned project pursuant to Senate Bill 18 (SB 18) Government Code Section 65352.3. Your project lies within our ancestral tribal territory, meaning descending from, a higher degree of kinship than traditional or cultural affiliation. Your project is located within a sensitive area and may cause a substantial adverse change in the significance of our tribal cultural resources. Most often, a records search for our tribal cultural resources will result in a "no records found" for the project area. The Native American Heritage Commission, ethnographers, historians, and professional archaeologists can only provide limited information that has been previously documented about California Native Tribes. This is the reason the Native American Heritage Commission (NAHC) will always refer the lead agency to the respective Native American Tribe of the area because the NAHC is only aware of general information and are not the experts on each California Tribe. Our Elder Committee & tribal historians are the experts for our Tribe and are able to provide a more complete history (both written and oral) regarding the location of historic villages, trade routes, cemeteries and sacred/religious sites in the project area. Therefore, to avoid adverse effects to our tribal cultural resources, we would like to consult with you and your staff to provide you with a more complete understanding of the prehistoric use(s) of the project area and the potential risks for causing a substantial adverse change to the significance of our tribal cultural resources.

Consultation appointments are available on Wednesdays and Thursdays at our offices at 901 N. Citrus Ave. Covina, CA 91722 or over the phone. Please call toll free 1-844-390-0787 or email gabrielenoindians@yahoo.com to schedule an appointment.

With Respect,

Andrew Salas, Chairman

Andrew Salas, Chairman

Albert Perez, treasurer |

PO Box 393, Covina, CA 91723

Nadine Salas, Vice-Chairman

Martha Gonzalez Lemos, treasurer ||

www.gabrielenoindians.org

Christina Swindall Martinez, secretary

Richard Gradias, Chairman of the Council of Elders

gabrielenoindians@yahoo.com

VIEJAS

TRIBAL GOVERNMENT

P.O. Box 908
Alpine, CA 91903
#1 Viejas Grade Road
Alpine, CA 91901

Phone: 6194453810
Fax: 6194455337
viejas.com

December 20, 2017

RECEIVED

JAN 02 2018

COMMUNITY DEVELOPMENT
BY: _____

Erica Demkowicz
Senior Planner
City of Tustin, Community Development Department
300 Centennial Way
Tustin, CA 92780

Re: Tustin Red Hill Avenue

Dear Mr. Demkowicz,

The Viejas Band of Kumeyaay Indians ("Viejas") has reviewed the proposed project and at this time we have determined that the project site has little cultural significance or ties to Viejas. We further recommend that you contact the tribe(s) closest to the cultural resources. We, however, request to be informed of any new developments such as inadvertent discovery of cultural artifacts, cremation sites, or human remains in order for us to reevaluate our participation in the government-to-government consultation process.

Please do not hesitate to contact me if you have further questions. Please call Ernest Pingleton at 619-659-2314 or me at 619-659-2312, or email, epingleton@viejas-nsn.gov or rteran@viejas-nsn.gov. Thank you.

Sincerely,



Ray Teran, Resource Management
VIEJAS BAND OF KUMEYAAY INDIANS

APPENDIX D

ENVIRONMENTAL DOCUMENTATION

*The following documentation has been abridged for printing purposes.
Complete environmental documentation is available at the City of Tustin during
regularly scheduled business hours.*

Exhibit 1-2

NA

Tustin, CA 92780

Inquiry Number: 4964215.2s

June 12, 2017

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

NA
TUSTIN, CA 92780

COORDINATES

Latitude (North): 33.7327760 - 33° 43' 57.99"
Longitude (West): 117.8166980 - 117° 49' 0.11"
Universal Transverse Mercator: Zone 11
UTM X (Meters): 424341.7
UTM Y (Meters): 3732633.2
Elevation: 106 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5640942 TUSTIN, CA
Version Date: 2012

North Map: 5641308 ORANGE, CA
Version Date: 2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140514, 20140515
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
Reg	TUSTIN MARINE CORPS		DOD	Same	2613, 0.495, South
A1	MOBIL SS #18-H7Q	13872 RED HILL AVENU	RGA LUST	Higher	1 ft.
A2	MOBIL SERVICE STATIO	13872 RED HILL AVENU	RGA LUST	Higher	1 ft.
A3	MOBIL #18-H7Q	13872 RED HILL	RGA LUST	Higher	1 ft.
A4	GW CLEANUP-TUSTINNAR	13895 REDHILL	FINDS	Higher	1 ft.
B5	ARCO STATION #1077	13742 RED HILL AVE	UST, SWEEPS UST	Higher	1 ft.
A6		13872 RED HILL RD.	CHMIRS	Higher	1 ft.
B7	GAZZ INTERNATIONAL I	13742 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
B8	ARCO #1077	13742 RED HILL	LUST	Higher	1 ft.
B9	ARCO #1077	13742	CA FID UST, HIST CORTESE	Higher	1 ft.
A10	MOBIL #18-H7Q	13872 RED HILL AVE	RGA LUST	Higher	1 ft.
B11	ARCO #1077	13742 RED HILL AVE	RGA LUST	Higher	1 ft.
B12	ARCO #1077	13742 RED HILL	FINDS	Higher	1 ft.
B13	ARCO PRODUCTS COMPAN	13742 REDHILL AVE	HAZNET	Higher	1 ft.
A14	SHELL SERVICE STATIO	13891 RED HILL AVENU	RGA LUST	Higher	1 ft.
B15	ARCO SERVICE STATION	13742 RED HILL AVENU	RGA LUST	Higher	1 ft.
A16	MAKENA CAPITAL BUILD	1450 EL CAMINO REAL	HAZNET	Higher	1 ft.
B17	DOMINICK C FIDUCCIA	13742 RED HILL AVE	HIST UST	Higher	1 ft.
A18	SHELL OIL CO	13891 REDHILL AVE	FINDS, ECHO	Higher	1 ft.
B19	ARCO #1077	13742 RED HILL	RGA LUST	Higher	1 ft.
B20	BP WEST COAST PRODUC	13742 RED HILL AVE	HAZNET	Higher	1 ft.
A21	RED HILL TEXACO	13931 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
C22	WASL TUSTIN INVESTOR	13841 RED HILL AVE	HAZNET	Higher	1 ft.
A23	IRVINE FUEL EXCHANGE	13872 RED HILL AVE	HAZNET	Higher	1 ft.
A24	CIRCLE K STORES INC.	13872 RED HILL AVE	FINDS	Higher	1 ft.
A25		13872 RED HILL AV	CHMIRS	Higher	1 ft.
A26	TEXACO SERVICE STATI	13931 RED HILL AVENU	RGA LUST	Higher	1 ft.
A27	RED HILL TEXACO SERV	13931 RED HILL AVE	CA FID UST	Higher	1 ft.
A28	TEXACO	13931 RED HILL AVE	LUST, HIST UST, HIST CORTESE	Higher	1 ft.
C29	MONARCH VILLAGE	13841 RED HILL AVE	NPDES	Higher	1 ft.
A30	REDHILL TEXACO	13931 REDHILL AVE	EDR Hist Auto	Higher	1 ft.
A31	CIRCLE K STORES INC.	13872 RED HILL AVE	UST, SWEEPS UST	Higher	1 ft.
A32	CIRCLE K STORE #2211	13872 RED HILL AVE	HAZNET	Higher	1 ft.
A33		13872 RED HILL AVE.	CHMIRS	Higher	1 ft.
A34		13872 RED HILLS AVE	CHMIRS	Higher	1 ft.
A35	MOBIL #18-H7Q	13872 RED HILL	LUST, CHMIRS	Higher	1 ft.
A36	ROY CALVETTI	13872 RED HILL	HIST UST	Higher	1 ft.
A37	EXXONMOBIL OIL CORPO	13872 RED HILL	HAZNET	Higher	1 ft.
A38	MOBIL #18-H7Q	13872 RED HILL	FINDS	Higher	1 ft.

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A39	CALVETTI INC	13872 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
A40	MOBIL #18-H7Q	13872 RED HILL AVE	LUST, CA FID UST, CHMIRS, HIST CORTESE	Higher	1 ft.
A41	RED HILL CAR WASH	13871 RED HILL	RGA LUST	Higher	1 ft.
A42	REDHILL CAR WASH	13871 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
A43	GRIGOR TEROGANESIAN	13871 RED HILL AVE	HAZNET	Higher	1 ft.
A44	HAMILTON CLEANERS	13844 RED HILL AVE	EDR Hist Cleaner	Higher	1 ft.
A45	CARIOCA CLEANERS	13844 RED HILL RD	EMI	Higher	1 ft.
D46	IRP NEVIS HOMES LLC	1361 EL CAMINO REAL	HAZNET	Higher	1 ft.
A47	TEXACO	13931 RED HILL & LAG	LUST, HIST UST	Higher	1 ft.
A48	REDHILL CAR WASH	13871 REDHILL	RGA LUST	Higher	1 ft.
A49	RED HILL CAR WASH	13871 RED HILL AVENU	RGA LUST	Higher	1 ft.
A50	THREE-S ASSOCIATES *	13871 REDHILL AVE	EDR Hist Auto	Higher	1 ft.
A51	RED HILL CAR WASH	13871 RED HILL	LUST, HIST CORTESE	Higher	1 ft.
A52	PARADISE CLEANERS	13844 RED HILL AVE	HAZNET	Higher	1 ft.
A53	RED HILL CAR WASH	13871 RED HILL AVE	SWEEPS UST	Higher	1 ft.
A54	REDHILL CAR WASH	13871 RED HILL	RGA LUST	Higher	1 ft.
A55	RED HILL CAR WASH	13871 RED HILL AVE	UST	Higher	1 ft.
A56	VAASU LLC CDBA- PARA	13844 RED HILL AVE	Orange Co. Industrial Site, DRYCLEANERS	Higher	1 ft.
A57	RED HILL CAR WASH	13871 RED HILL AVE	RGA LUST	Higher	1 ft.
A58	PARADISE CLEANERS	13844 RED HILL AVE	HAZNET	Higher	1 ft.
A59	RED HILL CAR WASH	13871 RED HILL	FINDS	Higher	1 ft.
A60	RED HILL CAR WASH	13871 RED HILL	LUST	Higher	1 ft.
A61	SHELL (7980-0201)	13891 RED HILL AVE	SWEEPS UST	Higher	1 ft.
A62	SHELL	13891 RED HILL AVE	RGA LUST	Higher	1 ft.
A63	SHELL OIL CO	13891 REDHILL AVE	RCRA-SQG, LUST, UST, CA FID UST, HAZNET	Higher	1 ft.
A64	SHELL #13891	13891 RED HILL AVE	RGA LUST	Higher	1 ft.
A65	SHELL	13891 RED HILL	FINDS	Higher	1 ft.
A66	SHELL OIL	13891 RED HILL	RGA LUST	Higher	1 ft.
A67	SHELL	13891 RED HILL	RGA LUST	Higher	1 ft.
A68	KRIKOR YEGENIAN	13891 RED HILL AVE	HIST UST	Higher	1 ft.
A69	TESORO (SHELL) 68913	13891 RED HILL AVE	FINDS	Higher	1 ft.
A70	SAMS SHELL	13891 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
A71	REDHILL AND EL CAMIN	13872 REDHILL	HAZNET	Higher	1 ft.
A72	GW CLEANUP-TUSTINNAR	13872 REDHILL	FINDS	Higher	1 ft.
A73	REDHILL AND EL CAMIN	13872 REDHILL AVE	RCRA-SQG, CHMIRS, FINDS, ECHO	Higher	1 ft.
E74	1X BARBARA TYSON	13641 REDHILL AVE	HAZNET	Higher	1 ft.
A75	REDHILL MOBIL SERVIC	13872 REDHILL	EDR Hist Auto	Higher	1 ft.
D76	U-HAUL CENTER	1431 LAGUNA ROAD	HIST UST	Higher	1 ft.
A77	SHELL SERVICE STATIO	13891 RED HILL	LUST, HIST CORTESE	Higher	1 ft.

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
D78	TUSTIN U HAUL CENTER	1431 LAGUNA	UST	Higher	1 ft.
A79	PNS BIG LOTS #1363	13852 RED HILL AVE	HAZNET	Higher	1 ft.
A80	BIG LOTS # 1363	13852 RED HILL AVE	FINDS	Higher	1 ft.
D81	U - HAUL	1431 EL CAMINO REAL	UST, SWEEPS UST	Higher	1 ft.
A82	TEXACO	13931 RED HILL	FINDS	Higher	1 ft.
C83	CARIOCA CLEANERS	13844 REDHILL AVE	EDR Hist Cleaner	Higher	1 ft.
D84	U HAUL CENTER	1431 EL CAMINO REAL	HAZNET	Higher	1 ft.
A85	RED HILL TEXACO SERV	13931 RED HILL AVE	UST, SWEEPS UST	Higher	1 ft.
A86	TEXACO	13931 RED HILL	RGA LUST	Higher	1 ft.
D87	U - HAUL	1431 EL CAMINO REAL	CA FID UST	Higher	1 ft.
A88	TEXACO SERVICE STATI	13931 RED HILL AVE	RGA LUST	Higher	1 ft.
A89	TEXACO	13931 RED HILL AVE	RGA LUST	Higher	1 ft.
C90	CARIOCA CLEANERS	13844 REDHILL AVE	RCRA-SQG, ENVIROSTOR, FINDS, ECHO, EMI, HAZNET	Higher	1 ft.
C91	AT&T MOBILITY - REDH	13814 RED HILL AVE	FINDS	Higher	1 ft.
C92	ZAREH ZAREH DENTAL I	13830 RED HILL AVE	HAZNET	Higher	1 ft.
F93	7-ELEVEN # 39017	14090 RED HILL AVE	FINDS	Lower	1 ft.
G94	HILL ROBERT H INC	14511 RED HILL	EDR Hist Auto	Lower	1 ft.
G95	CERTIFIED TIRE & SER	14511 RED HILL AVE	FINDS	Lower	1 ft.
F96	EXXON SERVICE STATIO	14082 RED HILL AVE	RGA LUST	Lower	1 ft.
H97	ARCO SERVICE STATION	14231 RED HILL AVENU	RGA LUST	Lower	1 ft.
F98	CHEVRON PRODUCTS SS#	14082 RED HILL	HAZNET	Lower	1 ft.
H99	JOHNSON KAREN MINI M	14231 RED HILL AVE	EDR Hist Auto	Lower	1 ft.
F100	CHEVRON STATION NO 2	14082 RED HILL AVE	RCRA NonGen / NLR, FINDS, ECHO, HAZNET	Lower	1 ft.
H101	ARCO #3045	14231 RED HILL	RGA LUST	Lower	1 ft.
F102	H&S #18	14082 RED HILL AVE	UST	Lower	1 ft.
G103	VERIZON WIRELESS: WE	14551 RED HILL AVE	FINDS	Lower	1 ft.
F104	JOHNS TOWING	14082 RED HILL AVE	EDR Hist Auto	Lower	1 ft.
A105	CHEVRON #9-3742	13922 RED HILL	LUST	Higher	1 ft.
H106	ARCO #3045	14231 RED HILL	LUST	Lower	1 ft.
H107	MOMART DELUX CLEANER	14241 REDHILL AVE.	EMI	Lower	1 ft.
F108	VICE ANTABLIAN	14042 RED HILL	HIST UST	Higher	1 ft.
F109	SHELL SERVICE STATIO	14042 RED HILL	LUST, HIST CORTESE	Higher	1 ft.
H110	BIG DADDYS OIL 23 IN	14231 RED HILL AVE	FINDS	Lower	1 ft.
F111	UNOCAL #5678	14081 RED HILL AVE	CA FID UST	Higher	1 ft.
F112	RED HILL UNOCAL 76	14081 RED HILL AVENU	HAZNET	Higher	1 ft.
F113	SHELL	14042 RED HILL AVE	RGA LUST	Higher	1 ft.
I114	TUSTIN VALERO SERVIC	14501 REDHILL AVE	HIST UST, HAZNET	Lower	1 ft.
F115	TOSCO CORPORATION ST	14081 RED HILL AVE	HAZNET	Higher	1 ft.
F116	EXXON #7-0755	14082 RED HILL	LUST, SWEEPS UST, CA FID UST, HIST CORTESE	Lower	1 ft.

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
G117	99 CENTS ONLY STORES	14551 RED HILL AVE	FINDS	Lower	1 ft.
H118	ARCO SERVICE STATION	14231 RED HILL AVENU	RGA LUST	Lower	1 ft.
F119	EXXON SERVICE STATIO	14032 RED HILL AVE	HIST UST	Higher	1 ft.
F120	ASSAFS SHELL	14042 REDHILL AVE	EDR Hist Auto	Higher	1 ft.
F121	BEST CLEANER & SHOE	14102 RED HILL AVE	EDR Hist Cleaner	Lower	1 ft.
H122	ARCO #3045	14231 RED HILL AVE	RGA LUST	Lower	1 ft.
F123	UNION OIL SERVICE ST	14081 RED HILL AVE	HIST UST	Higher	1 ft.
G124	TUSTIN VALERO SERVIC	14501 RED HILL AVE	EDR Hist Auto	Lower	1 ft.
A125	93742	13922 REDHILL	HIST UST	Higher	1 ft.
I126	GENE ROGERS CHEVRON	14501 REDHILL	HAZNET	Lower	1 ft.
F127	RED HILL UNION	14081 RED HILL AVE	UST	Higher	1 ft.
G128	CHEVRON #9-0422	14501 RED HILL	RGA LUST	Lower	1 ft.
G129	CHEVRON #9-0422	14501 RED HILL AVE	LUST, UST, HIST UST	Lower	1 ft.
G130	SCHER TIRE #17	14511 RED HILL AVE	HAZNET	Lower	1 ft.
A131	CHEVRON #9-3742	13922 RED HILL	FINDS	Higher	1 ft.
F132	ASSAF SHELL	14042 RED HILL AVE	UST	Higher	1 ft.
H133	RED HILL MITCHELL GA	14231 RED HILL AVE	HAZNET	Lower	1 ft.
H134	MOMART DELUX CLEANER	14241 REDHILL	HAZNET	Lower	1 ft.
F135	EXXON #7-0755	14082 RED HILL	RGA LUST	Lower	1 ft.
F136	REDHILL UNION	14081 REDHILL AVE	EDR Hist Auto	Higher	1 ft.
A137	CHEVRON SERVICE STAT	13922 RED HILL AVENU	RGA LUST	Higher	1 ft.
G138	CHEVRON ENVIRONMENTA	14501 RED HILL AVE	LUST, SWEEPS UST, EMI	Lower	1 ft.
H139	BIG DADDYS OIL 23 IN	14231 RED HILL AVE	UST, SWEEPS UST	Lower	1 ft.
H140	BP WEST COAST PRODUC	14231 RED HILL AVE	HAZNET	Lower	1 ft.
A141	CHEVRON #9-3742	13922 RED HILL	LUST, HIST CORTESE	Higher	1 ft.
F142	RED HILL UNION	14081 RED HILL AVE	FINDS	Higher	1 ft.
F143	SHELL	14042 RED HILL	FINDS	Higher	1 ft.
A144	CHEVRON #9-3742	13922 RED HILL AVE	RGA LUST	Higher	1 ft.
G145	SCHER TIRE CENTER	14511 RED HILL AVE	SWEEPS UST, CA FID UST	Lower	1 ft.
H146	ARCO PRODUCTS COMPAN	14231 RED HILL AVE	HAZNET	Lower	1 ft.
F147	UNOCAL	14081 RED HILL	FINDS	Higher	1 ft.
G148	RH CLEANERS	14591 RED HILL AVE	DRYCLEANERS	Lower	1 ft.
G149	R H CLEANERS	14591 RED HILL AVE	EDR Hist Cleaner	Lower	1 ft.
J150	RH CLEANERS	14591 REDHILL AVENUE	RCRA-SQG, FINDS, ECHO, EMI, HAZNET	Lower	1 ft.
J151	R H CLEANERS	14591 REDHILL	EDR Hist Cleaner	Lower	1 ft.
F152	UNOCAL #5678 (AKA TO	14081 RED HILL	RGA LUST	Higher	1 ft.
F153	RED HILL UNION	14081 RED HILL AVE	HAZNET	Higher	1 ft.
F154	TOSCO - 76 #5678	14081 RED HILL	RGA LUST	Higher	1 ft.
G155	SCHER TIRE INC # 17	14511 RED HILL AVE	UST	Lower	1 ft.

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.)
F156	CONOCO PHILLIPS #255	14081 RED HILL AVE	HAZNET	Higher	1 ft.
G157	GOODYEAR TIRE CTR	14511 REDHILL	HAZNET	Lower	1 ft.
H158	ARCO SERVICE STATION	14231 RED HILL AVENU	RGA LUST	Lower	1 ft.
F159	UNOCAL	14081 RED HILL AVE E	RGA LUST	Higher	1 ft.
F160	SHELL #14042	14042 RED HILL AVE	RGA LUST	Higher	1 ft.
A161	CHEVRON #9-3742	13922 RED HILL AVE	UST	Higher	1 ft.
F162	1X SHELL OIL CO	14042 RED HILL	HAZNET	Higher	1 ft.
F163	EXXON #7-0755	14082 RED HILL AVE	RGA LUST	Lower	1 ft.
F164	HASSAN 18	14082 RED HILL AVE	FINDS	Lower	1 ft.
F165	UNOCAL #5678	14081 RED HILL AVE	RGA LUST	Higher	1 ft.
F166	SHELL SERVICE STATIO	14042 REDHILL AVENUE	RGA LUST	Higher	1 ft.
H167	MOMART DELUX CLEANER	14241 REDHILL AVE	RCRA-SQG, FINDS, ECHO, DRYCLEANERS	Lower	1 ft.
F168	STATION #5678	14081 RED HILL AVE	HIST UST	Higher	1 ft.
G169	CHEVRON 90422	14501 RED HILL AVE	HAZNET	Lower	1 ft.
H170	WALID C DAOUD	14231 RED HILL AVE	HIST UST	Lower	1 ft.
G171	SCHER TIRE NO 17 D B	14511 REDHILL AVE	RCRA-SQG	Lower	1 ft.
A172	BENS CHEVRON SERVICE	13922 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
G173	CHEVRON #9-0422	14501 RED HILL	FINDS	Lower	1 ft.
H174	ARCO #3045	14231	CA FID UST, HIST CORTESE	Lower	1 ft.
F175	UNOCAL #5678 (AKA TO	14081 RED HILL	FINDS	Higher	1 ft.
A176	CHEVRON #9-3742	13922 RED HILL	RGA LUST	Higher	1 ft.
H177	MOMARK DELUXE CLEANE	14241 RED HILL AVE	EDR Hist Cleaner	Lower	1 ft.
F178	SHELL	14042 RED HILL	RGA LUST	Higher	1 ft.
G179	SCHER TIRE INC #17 D	14511 REDHILL AVE	FINDS, ECHO	Lower	1 ft.
F180	SHELL SERVICE STATIO	14042 RED HILL AVENU	RGA LUST	Higher	1 ft.
F181	EXXON #7-0755	14082 RED HILL	FINDS	Lower	1 ft.
F182	UNOCAL #5678	14081 RED HILL AVE	SWEEPS UST	Higher	1 ft.
F183	EXXON SERVICE STATIO	14082 RED HILL AVENU	RGA LUST	Lower	1 ft.
F184	ASSAFS SHELL	14042 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
H185	MOMART DELUX CLEANER	14241 REDHILL	HAZNET	Lower	1 ft.
H186	RONALD YAMACHIKA DDS	14213 RED HILL AVE	HAZNET	Lower	1 ft.
F187	JOHN YEGENIAN CHEVRO	14082 REDHILL AVE	HAZNET	Lower	1 ft.
A188	CHEVRON S S #3742	13922 RED HILL AVENU	RGA LUST	Higher	1 ft.
I189	GENE ROGERS CHEVRON	14501 REDHILL AVE	HAZNET	Lower	1 ft.
G190	CHEVRON #9-0422	14501 RED HILL AVE	RGA LUST	Lower	1 ft.
A191	93742	13922 RED HILL AVE	HIST UST	Higher	1 ft.
F192	UNOCAL SERVICE STATI	14081 RED HILL AVENU	RGA LUST	Higher	1 ft.
F193	TACO BELL STORE 1747	14042 RED HILL AVE	FINDS	Higher	1 ft.
194	STATER BROS. MARKETS	14171 RED HILL AVE	FINDS	Lower	1 ft.

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A195	CHEVRON 93742	13922 RED HILL AVE	HAZNET	Higher	1 ft.
H196	BIG DADDYS OIL 23 IN	14231 RED HILL AVE	HAZNET	Lower	1 ft.
F197	ALTA DENA DAIRY	14081 NEWPORT AVE	LUST, SWEEPS UST, CA FID UST, HAZNET, HIST CORTESE	Higher	1 ft.
G198	CHEVRON #9-0422	14501 RED HILL AVE	CA FID UST	Lower	1 ft.
F199	NEKOUIE HENRY	14081 RED HILL AVE	EDR Hist Auto	Higher	1 ft.
G200	SCHER TIRE NO 17 DBA	14511 REDHILL AVE	HAZNET	Lower	1 ft.
F201	TOSCO - 76 STATION #	14081 RED HILL AVE	RGA LUST	Higher	1 ft.
A202	CHEVRON SS #3742	13922 RED HILL AVENU	RGA LUST	Higher	1 ft.
H203	ARCO #3045	14231 RED HILL	FINDS	Lower	1 ft.
I204	GENE ROGERS CHEVRON	14501 REDHILL AVE	RCRA-SQG, FINDS, ECHO	Lower	1 ft.
F205	EXXON SERVICE STATIO	14082 RED HILL AVENU	RGA LUST	Lower	1 ft.
F206	UNOCAL	14081 RED HILL	RGA LUST	Higher	1 ft.
H207	AM/PM MINI MARKET	14231 REDHILL	EDR Hist Auto	Lower	1 ft.
F208	EXXON CO USA #70755	14082 REDHILL	RCRA-LQG	Lower	1 ft.
G209	WOORI MARKET	14551 RED HILL	FINDS	Lower	1 ft.
F210	EXXON SERVICE STATIO	14032 REDHILL	HIST UST	Higher	1 ft.
H211	BIG DADDYS OIL 23	14231 RED HILL AVE	UST	Lower	1 ft.
E212	USA MOBILE CAR WASH	13656 RED HILL AVE	EDR Hist Auto	Higher	11, 0.002, NE
E213	VEEH RESIDENCE	13641 RED HILL AVE	UST	Higher	21, 0.004, NE
214	TIGER AUTO INC	1602 NISSON RD APT C	EDR Hist Auto	Lower	91, 0.017, ESE
215	EAST BLUFF CLEANING	13722 RED HILL AVE	EDR Hist Cleaner	Higher	134, 0.025, NE
216	BESWICK ELEMENTARY S	1362 MITCHELL ST	RCRA-SQG, HAZNET	Lower	229, 0.043, WSW
217	WEST JASON H	14122 UTT DR	EDR Hist Cleaner	Higher	260, 0.049, WNW
218	SUNSHINE CARPET DYG	14675 RED HILL AVE	EDR Hist Cleaner	Lower	277, 0.052, SW
K219	AMERICAN AUTOMOTIVE	1162 EL CAMINO REAL	EDR Hist Auto	Higher	375, 0.071, North
K220	AMERICAN AUTOMOTIVE	1162 EL CAMINO REAL	RCRA-SQG, FINDS, ECHO	Higher	375, 0.071, North
221	SPECTRUM GARAGE DOOR	13841 TUSTIN EAST DR	EDR Hist Auto	Lower	447, 0.085, ENE
L222	PRIVATE RESIDENCE	PRIVATE RESIDENCE	LUST	Lower	844, 0.160, SSE
L223	TUSTIN RESIDENCE	1681 MITCHELL AVE	LUST	Lower	861, 0.163, SSE
224	K-5 RAWLINGS SCHOOL	RAWLINGS WAY/FAIRGAT	ENVIROSTOR, SCH	Lower	903, 0.171, ESE
225	TUSTIN HIGH SCHOOL T	1171 EL CAMINO REAL	RCRA-SQG, SWEEPS UST, HIST UST, CA FID UST, FINDS,...	Higher	1175, 0.223, NNW
226	BURNETT-EHLIN COMPA	4TH ST	LUST	Higher	1622, 0.307, NNW
M227	TUSTIN CITY OF	1472 SERVICE ROAD	RCRA-CESQG, LUST, FINDS, ECHO	Lower	1786, 0.338, SW
M228	CITY OF TUSTIN MAINT	1472 SERVICE RD	SWF/LF, LUST, CA FID UST, EMI	Lower	1786, 0.338, SW
N229	SOUTHERN COUNTIES OI	1011 EL CAMINO REAL	RCRA-SQG, LUST, FINDS, ECHO, HAZNET	Higher	1881, 0.356, NW
230	LOWER PETERS CANYON	BRYAN AVENUE/HARVARD	ENVIROSTOR, SCH	Lower	1894, 0.359, ENE
231	EVOLUTION RECYCLING	1022-1112 WALNUT AVE	SWRCY	Lower	2016, 0.382, West
232	TUSTIN PARCEL A	2300 BLOCK EDINGER A	ENVIROSTOR	Lower	2064, 0.391, SW
N233	ULTRAMAR	14000 NEWPORT AVE	LUST	Higher	2073, 0.393, NW

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
O234	CHEVRON STATION #920	14122 NEWPORT AVE	LUST, SWEEPS UST, CA FID UST, HIST CORTESE	Higher	2111, 0.400, WNW
P235	SOUTHERN COUNTIES OI	13922 NEWPORT AVE	LUST, SWEEPS UST, CA FID UST, HIST CORTESE	Higher	2130, 0.403, NNW
P236	CARDLOCK FUELS	13922 NEWPORT AVE	LUST	Higher	2130, 0.403, NNW
Q237	UNOCAL #4953	14011 NEWPORT	LUST, HIST UST, HIST CORTESE	Higher	2157, 0.409, NW
238	HEALTH CARE MEDICAL	14662 NEWPORT	LUST, HIST CORTESE	Lower	2163, 0.410, WSW
R239	ARCO #1865	14244 NEWPORT AVE	LUST, SWEEPS UST	Higher	2166, 0.410, WNW
R240	GW CLEANUP-TUSTIN, N	14244 NEWPORT	LUST, ENF, HIST CORTESE	Higher	2166, 0.410, WNW
R241	ARCO #1865	14244	CA FID UST, HIST CORTESE	Higher	2166, 0.410, WNW
Q242	G & M OIL	14001 NEWPORT BLVD	SWEEPS UST, CA FID UST, HIST CORTESE	Higher	2170, 0.411, NW
Q243	ULTRAMAR	14001 NEWPORT AVE	LUST, HIST UST	Higher	2170, 0.411, NW
Q244	ULTRAMAR	14001 NEWPORT AVENUE	LUST, HIST UST	Higher	2170, 0.411, NW
245	ARCO #3132	13662 NEWPORT	LUST, HIST CORTESE	Higher	2195, 0.416, North
O246	TEXACO SERVICE STATI	14041	HIST CORTESE	Higher	2215, 0.420, NW
S247	KONIS SITE	1231 EDINGER	LUST	Lower	2293, 0.434, SW
R248	THRIFTY OIL #075	14121 NEWPORT AVE	LUST	Higher	2354, 0.446, WNW
O249	TEXACO	14041 NEWPORT AND 1-	LUST, HIST UST	Higher	2364, 0.448, WNW
250	REPLANET LLC	13270 NEWPORT AVE	SWRCY	Higher	2365, 0.448, NNE
S251	WELLS 21 AND 22 TREA	1221 EDINGER AVE	LUST, HIST CORTESE, NPDES	Lower	2395, 0.454, SW
S252	KSH INC.	1221 E EDINGER AVE	LUST, Orange Co. Industrial Site	Lower	2395, 0.454, SW
R253	THRIFTY OIL CO #075	14121 NEWPORT AVE	LUST, SWEEPS UST, CA FID UST	Higher	2401, 0.455, WNW
254	PACIFIC BELL	1472 EDINGER	LUST	Lower	2416, 0.458, SW
T255	UNOCAL #5386	13348 NEWPORT AVE	LUST, UST, SWEEPS UST	Higher	2562, 0.485, North
T256	UNOCAL	13348 NEWPORT AVE	LUST	Higher	2562, 0.485, North
T257	UNOCAL #5386	13348	CA FID UST, HIST CORTESE	Higher	2562, 0.485, North
U258	TUSTIN AUTO WASH	535 E MAIN ST	LUST, CA FID UST, HIST CORTESE	Higher	2563, 0.485, North
U259	TUSTIN AUTO WASH & 7	13561 NEWPORT AVE	LUST, UST, SWEEPS UST	Higher	2615, 0.495, North
260	EXTERMINETICS	1214	LUST, HIST CORTESE	Lower	2624, 0.497, SW
T261	TUSTIN USD HIGH SCHO	SW OF INTERSECTION O	ENVIROSTOR, SCH	Higher	2706, 0.512, North
T262	PROPOSED TUSTIN ES-M	NEWPORT FREEWAY AT E	ENVIROSTOR, SCH	Higher	2706, 0.512, North
263	SUPERIOR PROCESSING	1582 PARKWAY LOOP #H	ENVIROSTOR	Lower	3124, 0.592, SW
V264	MCKESSON CHEM CO	1302 INDUSTRIAL DR	SEMS-ARCHIVE, CORRACTS, RCRA-TSDF, RCRA-SQG,...	Lower	3217, 0.609, SW
V265	MCKESSON CHEMICAL CO	1302 INDUSTRIAL DRIV	ENVIROSTOR	Lower	3217, 0.609, SW
266	TUSTIN MARINE CORPS	NEWPORT FREEWAY AT E	RESPONSE, ENVIROSTOR, HIST Cal-Sites, DEED,...	Higher	3460, 0.655, WSW
267	CHEVRON #9-8149	13052 NEWPORT	ENVIROSTOR, LUST, CA FID UST, HIST CORTESE	Higher	3625, 0.687, NNE
268	RED HILL/VALENCIA K-	RED HILL AVENUE/SANT	ENVIROSTOR, SCH	Lower	3766, 0.713, SW
269	XEROX CORPORATION FA	2200 EAST MCFADDEN S	ENVIROSTOR, SLIC	Higher	3794, 0.719, West
W270	TUSTIN NATIL GUARD R		FUDS	Lower	3900, 0.739, South
W271	TUSTIN NG RIFLE RANG	APPLE TREE DR./COCO	RESPONSE, ENVIROSTOR	Lower	3907, 0.740, South
272	TUSTIN LEGACY COMMUN	MCAS TUSTIN	ENVIROSTOR, VCP	Lower	4461, 0.845, SW

MAPPED SITES SUMMARY

Target Property Address:
 NA
 TUSTIN, CA 92780

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
273	TUSTIN RAD BOMB/SCOR		ENVIROSTOR	Lower	4499, 0.852, South
274	TUSTIN AIR FAC. SCHO	VALENCIA AVENUE/RED	ENVIROSTOR, SCH	Lower	4615, 0.874, SW
275	QUICK QUALITY CLEANE	16795 MCFADDEN AVE	RCRA-SQG, ENVIROSTOR, Orange Co. Industrial Site,...	Higher	4671, 0.885, West
276	TRUESDAIL LABORATORI	14201 FRANKLIN AVE	RCRA-SQG, ENVIROSTOR, VCP, HIST UST, FINDS, ECHO,...	Lower	4786, 0.906, SE
X277	SHIPLEY COMPANY LLC	2631 MICHELLE DR	LUST, HIST UST, DEED, HWP	Lower	5010, 0.949, SE
X278	SHIPLEY COMPANY, LLC	2631 MICHELLE DRIVE	SEMS-ARCHIVE, CORRACTS, RCRA-TSDF, RCRA-SQG, US...	Lower	5010, 0.949, SE
X279	SHIPLEY COMPANY, LLC	2631 MICHELLE DR	ENVIROSTOR, LUST, DEED, HIST CORTESE	Lower	5010, 0.949, SE

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

EXECUTIVE SUMMARY

SLIC..... Statewide SLIC Cases

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing
AST..... Aboveground Petroleum Storage Tank Facilities
INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

VCP..... Voluntary Cleanup Program Properties
INDIAN VCP..... Voluntary Cleanup Priority Listing

State and tribal Brownfields sites

BROWNFIELDS..... Considered Brownfields Sites Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

WMUDS/SWAT..... Waste Management Unit Database
HAULERS..... Registered Waste Tire Haulers Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
CDL..... Clandestine Drug Labs
Toxic Pits..... Toxic Pits Cleanup Act Sites
US CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS..... Environmental Liens Listing
LIENS 2..... CERCLA Lien Information
DEED..... Deed Restriction Listing

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
LDS..... Land Disposal Sites Listing
MCS..... Military Cleanup Sites Listing
SPILLS 90..... SPILLS 90 data from FirstSearch

Other Ascertainable Records

SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing

EXECUTIVE SUMMARY

US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PRP.....	Potentially Responsible Parties
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
UXO.....	Unexploded Ordnance Sites
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
CA BOND EXP. PLAN.....	Bond Expenditure Plan
Cortese.....	"Cortese" Hazardous Waste & Substances Sites List
CUPA Listings.....	CUPA Resources List
ENF.....	Enforcement Action Listing
Financial Assurance.....	Financial Assurance Information Listing
ICE.....	ICE
HWT.....	Registered Hazardous Waste Transporter Database
MINES.....	Mines Site Location Listing
MWMP.....	Medical Waste Management Program Listing
PEST LIC.....	Pesticide Regulation Licenses Listing
PROC.....	Certified Processors Database
Notify 65.....	Proposition 65 Records
UIC.....	UIC Listing
WASTEWATER PITS.....	Oil Wastewater Pits Listing
WDS.....	Waste Discharge System
WIP.....	Well Investigation Program Case List

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP..... EDR Proprietary Manufactured Gas Plants

EXECUTIVE SUMMARY

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA LF..... Recovered Government Archive Solid Waste Facilities List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal RCRA CORRACTS facilities list

CORRACTS: CORRACTS is a list of handlers with RCRA Corrective Action Activity. This report shows which nationally-defined corrective action core events have occurred for every handler that has had corrective action activity.

A review of the CORRACTS list, as provided by EDR, and dated 12/12/2016 has revealed that there are 2 CORRACTS sites within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>MCKESSON CHEM CO</i>	<i>1302 INDUSTRIAL DR</i>	<i>SW 1/2 - 1 (0.609 mi.)</i>	<i>V264</i>	<i>394</i>
<i>SHIPLEY COMPANY, LLC</i>	<i>2631 MICHELLE DRIVE</i>	<i>SE 1/2 - 1 (0.949 mi.)</i>	<i>X278</i>	<i>602</i>

Federal RCRA generators list

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 12/12/2016 has revealed that there is 1 RCRA-LQG site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>EXXON CO USA #70755</i>	<i>14082 REDHILL</i>	<i>0 - 1/8 (0.000 mi.)</i>	<i>F208</i>	<i>251</i>

EXECUTIVE SUMMARY

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 12/12/2016 has revealed that there are 10 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SHELL OIL CO	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A63	89
REDHILL AND EL CAMIN	13872 REDHILL AVE	0 - 1/8 (0.000 mi.)	A73	99
CARIOCA CLEANERS	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
AMERICAN AUTOMOTIVE	1162 EL CAMINO REAL	N 0 - 1/8 (0.071 mi.)	K220	256
TUSTIN HIGH SCHOOL T	1171 EL CAMINO REAL	NNW 1/8 - 1/4 (0.223 mi.)	225	267
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RH CLEANERS	14591 REDHILL AVENUE	0 - 1/8 (0.000 mi.)	J150	199
MOMART DELUX CLEANER	14241 REDHILL AVE	0 - 1/8 (0.000 mi.)	H167	209
SCHER TIRE NO 17 D B	14511 REDHILL AVE	0 - 1/8 (0.000 mi.)	G171	215
GENE ROGERS CHEVRON	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I204	248
BESWICK ELEMENTARY S	1362 MITCHELL ST	WSW 0 - 1/8 (0.043 mi.)	216	254

State- and tribal - equivalent NPL

RESPONSE: Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

A review of the RESPONSE list, as provided by EDR, has revealed that there are 2 RESPONSE sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN MARINE CORPS AWP Facility Id: 30970002 Status: Active Facility Id: 30970002	NEWPORT FREEWAY AT E	WSW 1/2 - 1 (0.655 mi.)	266	403
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN NG RIFLE RANG Database: RESPONSE, Date of Government Version: 01/30/2017 Status: No Further Action Facility Id: 80000488	APPLE TREE DR./COCO	S 1/2 - 1 (0.740 mi.)	W271	571

State- and tribal - equivalent CERCLIS

ENVIROSTOR: The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which

EXECUTIVE SUMMARY

there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

A review of the ENVIROSTOR list, as provided by EDR, and dated 01/30/2017 has revealed that there are 19 ENVIROSTOR sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CARIOCA CLEANERS Facility Id: 30720010 Status: Refer: 1248 Local Agency	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
TUSTIN USD HIGH SCHO Facility Id: 70000180 Status: No Further Action	SW OF INTERSECTION O	N 1/2 - 1 (0.512 mi.)	T261	387
PROPOSED TUSTIN ES-M Facility Id: 70000181 Status: No Further Action	NEWPORT FREEWAY AT E	N 1/2 - 1 (0.512 mi.)	T262	390
TUSTIN MARINE CORPS Facility Id: 30970002 Status: Active	NEWPORT FREEWAY AT E	WSW 1/2 - 1 (0.655 mi.)	266	403
CHEVRON #9-8149 Facility Id: 30530001 Status: Refer: 1248 Local Agency	13052 NEWPORT	NNE 1/2 - 1 (0.687 mi.)	267	559
XEROX CORPORATION FA Facility Id: 60001237 Status: No Further Action	2200 EAST MCFADDEN S	W 1/2 - 1 (0.719 mi.)	269	569
QUICK QUALITY CLEANE Facility Id: 30720008 Status: Refer: 1248 Local Agency	16795 MCFADDEN AVE	W 1/2 - 1 (0.885 mi.)	275	587
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
K-5 RAWLINGS SCHOOL Facility Id: 30010003 Status: No Further Action	RAWLINGS WAY/FAIRGAT	ESE 1/8 - 1/4 (0.171 mi.)	224	264
LOWER PETERS CANYON Facility Id: 30010002 Status: No Further Action	BRYAN AVENUE/HARVARD	ENE 1/4 - 1/2 (0.359 mi.)	230	283
TUSTIN PARCEL A Facility Id: 30970005 Status: No Further Action	2300 BLOCK EDINGER A	SW 1/4 - 1/2 (0.391 mi.)	232	286
SUPERIOR PROCESSING Facility Id: 71003341 Status: Inactive - Needs Evaluation	1582 PARKWAY LOOP #H	SW 1/2 - 1 (0.592 mi.)	263	393
MCKESSON CHEMICAL CO Facility Id: 80001441	1302 INDUSTRIAL DRIV	SW 1/2 - 1 (0.609 mi.)	V265	400

EXECUTIVE SUMMARY

Facility Id: 30280149 Status: * Completed Status: Refer: RCRA				
RED HILL/VALENCIA K- Facility Id: 30970014 Status: No Further Action	RED HILL AVENUE/SANT	SW 1/2 - 1 (0.713 mi.)	268	565
TUSTIN NG RIFLE RANG Facility Id: 80000488 Status: No Further Action	APPLE TREE DR./COCO	S 1/2 - 1 (0.740 mi.)	W271	571
TUSTIN LEGACY COMMUN Facility Id: 80001203 Status: Active	MCAS TUSTIN	SW 1/2 - 1 (0.845 mi.)	272	573
TUSTIN RAD BOMB/SCOR Facility Id: 80000427 Status: Inactive - Needs Evaluation		S 1/2 - 1 (0.852 mi.)	273	583
TUSTIN AIR FAC. SCHO Facility Id: 30970011 Status: Inactive - Needs Evaluation	VALENCIA AVENUE/RED	SW 1/2 - 1 (0.874 mi.)	274	584
TRUESDAIL LABORATORI Facility Id: 60002347 Status: Active	14201 FRANKLIN AVE	SE 1/2 - 1 (0.906 mi.)	276	590
SHIPLEY COMPANY, LLC Facility Id: 71002194 Facility Id: 80001562 Status: Certified O&M - Land Use Restrictions Only Status: * Completed	2631 MICHELLE DR	SE 1/2 - 1 (0.949 mi.)	X279	615

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the Integrated Waste Management Board's Solid Waste Information System (SWIS) database.

A review of the SWF/LF list, as provided by EDR, has revealed that there is 1 SWF/LF site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CITY OF TUSTIN MAINT	1472 SERVICE RD	SW 1/4 - 1/2 (0.338 mi.)	M228	274
Database: SWF/LF (SWIS), Date of Government Version: 02/13/2017 Facility ID: 30-AB-0437 Operational Status: Active Regulation Status: Notification				

EXECUTIVE SUMMARY

State and tribal leaking storage tank lists

LUST: Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the LUST list, as provided by EDR, has revealed that there are 46 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #1077 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 93UT021 Facility Status: Remedial action (cleanup) Underway Global Id: T0605901481 Global ID: T0605901481	13742 RED HILL	0 - 1/8 (0.000 mi.)	B8	13
TEXACO Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 93UT034 Global Id: T0605900902	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A28	34
MOBIL #18-H7Q Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Open - Remediation Facility Id: 88UT138 Global Id: T0605900777	13872 RED HILL	0 - 1/8 (0.000 mi.)	A35	47
MOBIL #18-H7Q Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Remediation Plan Global ID: T0605900777	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A40	61
TEXACO Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Case Closed Global ID: T0605900902	13931 RED HILL & LAG	0 - 1/8 (0.000 mi.)	A47	69
RED HILL CAR WASH Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 86UT204 Global Id: T0605904805 Global Id: T0605900254	13871 RED HILL	0 - 1/8 (0.000 mi.)	A51	72
RED HILL CAR WASH Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Case Closed Global ID: T0605900254	13871 RED HILL	0 - 1/8 (0.000 mi.)	A60	86
SHELL OIL CO Database: LUST REG 8, Date of Government Version: 02/14/2005	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A63	89

EXECUTIVE SUMMARY

Facility Status: Preliminary site assessment underway
Global ID: T0605934888

SHELL SERVICE STATIO	13891 RED HILL	0 - 1/8 (0.000 mi.)	A77	103
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 01UT021				
Facility Id: 86UT059				
Facility Status: Case Closed				
Global Id: T0605934888				
Global Id: T0605900282				
Global ID: T0605900282				
CHEVRON #9-3742	13922 RED HILL	0 - 1/8 (0.000 mi.)	A105	139
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Facility Status: Case Closed				
Global ID: T0605900076				
SHELL SERVICE STATIO	14042 RED HILL	0 - 1/8 (0.000 mi.)	F109	151
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 90UT268				
Facility Status: Case Closed				
Global Id: T0605901299				
Global ID: T0605901299				
CHEVRON #9-3742	13922 RED HILL	0 - 1/8 (0.000 mi.)	A141	192
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 87UT101				
Global ID: T0605900076				
ALTA DENA DAIRY	14081 NEWPORT AVE	0 - 1/8 (0.000 mi.)	F197	230
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 87UT192				
Facility Status: Pollution Characterization				
Facility Status: Case Closed				
Global Id: T0605900571				
Global Id: T0605991003				
Global ID: T0605900571				
Global ID: T0605991003				
BURNETT-EHLINE COMPA	4TH ST	NNW 1/4 - 1/2 (0.307 mi.)	226	270
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Global ID: T0605900736				
SOUTHERN COUNTIES OI	1011 EL CAMINO REAL	NW 1/4 - 1/2 (0.356 mi.)	N229	277
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				

EXECUTIVE SUMMARY

Facility Id: 87UT234 Facility Status: Case Closed Global Id: T0605900566 Global ID: T0605900566				
ULTRAMAR	14000 NEWPORT AVE	NW 1/4 - 1/2 (0.393 mi.)	N233	287
Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Pollution Characterization Global ID: T0605902280				
CHEVRON STATION #920	14122 NEWPORT AVE	WNW 1/4 - 1/2 (0.400 mi.)	Q234	289
Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 86UT005 Facility Status: Case Closed Global Id: T0605900390 Global ID: T0605900390				
SOUTHERN COUNTIES OI	13922 NEWPORT AVE	NNW 1/4 - 1/2 (0.403 mi.)	P235	293
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 00UT009 Global Id: T0605902353				
CARDLOCK FUELS	13922 NEWPORT AVE	NNW 1/4 - 1/2 (0.403 mi.)	P236	304
Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Remediation Plan Global ID: T0605902353				
UNOCAL #4953	14011 NEWPORT	NW 1/4 - 1/2 (0.409 mi.)	Q237	305
Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 89UT219 Facility Status: Case Closed Global Id: T0605901046 Global ID: T0605901046				
ARCO #1865	14244 NEWPORT AVE	WNW 1/4 - 1/2 (0.410 mi.)	R239	310
Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Remediation Plan Global ID: T0605900369				
GW CLEANUP-TUSTIN, N	14244 NEWPORT	WNW 1/4 - 1/2 (0.410 mi.)	R240	315
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 85UT100 Global Id: T0605900369				
ULTRAMAR	14001 NEWPORT AVE	NW 1/4 - 1/2 (0.411 mi.)	Q243	326
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Facility Id: 99UT033				
ULTRAMAR	14001 NEWPORT AVENUE	NW 1/4 - 1/2 (0.411 mi.)	Q244	327
Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed				

EXECUTIVE SUMMARY

Global Id: T0605902280

ARCO #3132	13662 NEWPORT	N 1/4 - 1/2 (0.416 mi.)	245	337
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 89UT100				
Facility Status: Case Closed				
Global Id: T0605900983				
Global ID: T0605900983				
THRIFTY OIL #075	14121 NEWPORT AVE	WNW 1/4 - 1/2 (0.446 mi.)	R248	342
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 87UT015				
Global Id: T0605900512				
TEXACO	14041 NEWPORT AND 1-	WNW 1/4 - 1/2 (0.448 mi.)	O249	347
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 89UT010				
Facility Status: Case Closed				
Global Id: T0605900894				
Global ID: T0605900894				
THRIFTY OIL CO #075	14121 NEWPORT AVE	WNW 1/4 - 1/2 (0.455 mi.)	R253	355
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Facility Status: Pollution Characterization				
Global ID: T0605900512				
UNOCAL #5386	13348 NEWPORT AVE	N 1/4 - 1/2 (0.485 mi.)	T255	359
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Completed - Case Closed				
Facility Id: 91UT131				
Global Id: T0605901349				
UNOCAL	13348 NEWPORT AVE	N 1/4 - 1/2 (0.485 mi.)	T256	362
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Facility Status: Post remedial action monitoring				
Global ID: T0605901349				
TUSTIN AUTO WASH	535 E MAIN ST	N 1/4 - 1/2 (0.485 mi.)	U258	364
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Open - Site Assessment				
Facility Id: 99UT049				
Global Id: T0605902351				
TUSTIN AUTO WASH & 7	13561 NEWPORT AVE	N 1/4 - 1/2 (0.495 mi.)	U259	372
Database: LUST REG 8, Date of Government Version: 02/14/2005				
Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016				
Database: LUST, Date of Government Version: 03/13/2017				
Status: Open - Eligible for Closure				
Facility Id: 05UT008				
Facility Status: Pollution Characterization				

EXECUTIVE SUMMARY

Global Id: T0605984477

Global ID: T0605902351

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #3045 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 89UT211 Facility Status: Remediation Plan Global Id: T0605900389 Global ID: T0605900389	14231 RED HILL	0 - 1/8 (0.000 mi.)	H106	140
EXXON #7-0755 Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 87UT235 Facility Status: Case Closed Global Id: T0605900562 Global ID: T0605900562	14082 RED HILL	0 - 1/8 (0.000 mi.)	F116	159
CHEVRON #9-0422 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Open - Site Assessment Facility Id: 99UT054 Global Id: T0605911852	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G129	170
CHEVRON ENVIRONMENTA Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Pollution Characterization Global ID: T0605911852	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G138	186
PRIVATE RESIDENCE Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Global Id: T0605936088	PRIVATE RESIDENCE	SSE 1/8 - 1/4 (0.160 mi.)	L222	258
TUSTIN RESIDENCE Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Facility Id: 08UT002	1681 MITCHELL AVE	SSE 1/8 - 1/4 (0.163 mi.)	L223	264
TUSTIN CITY OF Database: LUST REG 8, Date of Government Version: 02/14/2005 Facility Status: Case Closed Global ID: T0605999103	1472 SERVICE ROAD	SW 1/4 - 1/2 (0.338 mi.)	M227	271
CITY OF TUSTIN MAINT Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017 Status: Completed - Case Closed Facility Id: 99UT064 Global Id: T0605999103	1472 SERVICE RD	SW 1/4 - 1/2 (0.338 mi.)	M228	274
HEALTH CARE MEDICAL Database: LUST REG 8, Date of Government Version: 02/14/2005 Database: ORANGE CO. LUST, Date of Government Version: 11/04/2016 Database: LUST, Date of Government Version: 03/13/2017	14662 NEWPORT	WSW 1/4 - 1/2 (0.410 mi.)	238	308

EXECUTIVE SUMMARY

Facility Id: FA0058782				
Facility Id: 2277				
RED HILL CAR WASH	13871 RED HILL AVE	0 - 1/8 (0.000 mi.)	A55	82
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 9631				
SHELL OIL CO	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A63	89
Database: ORANGE CO. UST, Date of Government Version: 02/06/2017				
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: FA0055497				
Facility Id: 2273				
TUSTIN U HAUL CENTER	1431 LAGUNA	0 - 1/8 (0.000 mi.)	D78	117
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 7811				
U - HAUL	1431 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	D81	119
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 4975				
RED HILL TEXACO SERV	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A85	122
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 4987				
RED HILL UNION	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F127	169
Database: UST, Date of Government Version: 03/12/2017				
ASSAF SHELL	14042 RED HILL AVE	0 - 1/8 (0.000 mi.)	F132	182
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 4985				
CHEVRON #9-3742	13922 RED HILL AVE	0 - 1/8 (0.000 mi.)	A161	207
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 3243				
VEEH RESIDENCE	13641 RED HILL AVE	NE 0 - 1/8 (0.004 mi.)	E213	253
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 16616				
Lower Elevation	Address	Direction / Distance	Map ID	Page
H&S #18	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F102	138
Database: ORANGE CO. UST, Date of Government Version: 02/06/2017				
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: FA0052432				
CHEVRON #9-0422	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G129	170
Database: ORANGE CO. UST, Date of Government Version: 02/06/2017				
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: FA0048465				
Facility Id: FA0048465				
Facility Id: 2280				
BIG DADDYS OIL 23 IN	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H139	189
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 4989				
SCHER TIRE INC # 17	14511 RED HILL AVE	0 - 1/8 (0.000 mi.)	G155	204
Database: UST, Date of Government Version: 03/12/2017				
Facility Id: 7603				
BIG DADDYS OIL 23	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H211	252
Database: ORANGE CO. UST, Date of Government Version: 02/06/2017				

EXECUTIVE SUMMARY

Facility Id: FA0052955

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: A listing of recycling facilities in California.

A review of the SWRCY list, as provided by EDR, and dated 03/13/2017 has revealed that there are 2 SWRCY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
REPLANET LLC Cert Id: RC156867.001	13270 NEWPORT AVE	NNE 1/4 - 1/2 (0.448 mi.)	250	350
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EVOLUTION RECYCLING Cert Id: RC173780.001	1022-1112 WALNUT AVE	W 1/4 - 1/2 (0.382 mi.)	231	286

Local Lists of Hazardous waste / Contaminated Sites

HIST Cal-Sites: Formerly known as ASPIS, this database contains both known and potential hazardous substance sites. The source is the California Department of Toxic Substance Control. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

A review of the HIST Cal-Sites list, as provided by EDR, and dated 08/08/2005 has revealed that there is 1 HIST Cal-Sites site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN MARINE CORPS	NEWPORT FREEWAY AT E	WSW 1/2 - 1 (0.655 mi.)	266	403

SCH: This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category. depending on the level of threat to public health and safety or the. environment they pose.

A review of the SCH list, as provided by EDR, and dated 01/30/2017 has revealed that there is 1 SCH site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
K-5 RAWLINGS SCHOOL Facility Id: 30010003 Status: No Further Action	RAWLINGS WAY/FAIRGAT	ESE 1/8 - 1/4 (0.171 mi.)	224	264

EXECUTIVE SUMMARY

Local Lists of Registered Storage Tanks

SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there are 13 SWEEPS UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO STATION #1077 Status: A Tank Status: A Comp Number: 4988	13742 RED HILL AVE	0 - 1/8 (0.000 mi.)	B5	9
CIRCLE K STORES INC. Status: A Tank Status: A Comp Number: 2277	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A31	39
RED HILL CAR WASH Status: A Tank Status: A Comp Number: 9631	13871 RED HILL AVE	0 - 1/8 (0.000 mi.)	A53	81
SHELL (7980-0201) Status: A Tank Status: A Comp Number: 2273	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A61	87
U - HAUL Status: A Tank Status: A Comp Number: 4975	1431 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	D81	119
RED HILL TEXACO SERV Status: A Tank Status: A Comp Number: 4987	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A85	122
UNOCAL #5678 Status: A Tank Status: A Comp Number: 2278	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F182	220
ALTA DENA DAIRY Status: A Tank Status: A Comp Number: 7921	14081 NEWPORT AVE	0 - 1/8 (0.000 mi.)	F197	230
TUSTIN HIGH SCHOOL T Status: A Tank Status: A Comp Number: 9331	1171 EL CAMINO REAL	NNW 1/8 - 1/4 (0.223 mi.)	225	267
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EXXON #7-0755	14082 RED HILL	0 - 1/8 (0.000 mi.)	F116	159

EXECUTIVE SUMMARY

Status: A
 Tank Status: A
 Comp Number: 4990

CHEVRON ENVIRONMENTA **14501 RED HILL AVE** **0 - 1/8 (0.000 mi.)** **G138** **186**

Status: A
 Tank Status: A
 Comp Number: 2280

BIG DADDYS OIL 23 IN **14231 RED HILL AVE** **0 - 1/8 (0.000 mi.)** **H139** **189**

Status: A
 Tank Status: A
 Comp Number: 4989

SCHER TIRE CENTER **14511 RED HILL AVE** **0 - 1/8 (0.000 mi.)** **G145** **195**

Status: A
 Tank Status: A
 Comp Number: 7603

HIST UST: Historical UST Registered Database.

A review of the HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there are 17 HIST UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DOMINICK C FIDUCCIA Facility Id: 00000026550	13742 RED HILL AVE	0 - 1/8 (0.000 mi.)	B17	26
TEXACO ROY CALVETTI Facility Id: 00000039219	13931 RED HILL AVE 13872 RED HILL	0 - 1/8 (0.000 mi.) 0 - 1/8 (0.000 mi.)	A28 A36	34 57
TEXACO Facility Id: 00000000061	13931 RED HILL & LAG	0 - 1/8 (0.000 mi.)	A47	69
KRIKOR YEGENIAN Facility Id: 00000013954	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A68	95
U-HAUL CENTER Facility Id: 00000001134	1431 LAGUNA ROAD	0 - 1/8 (0.000 mi.)	D76	103
VICE ANTABLIAN Facility Id: 00000020057	14042 RED HILL	0 - 1/8 (0.000 mi.)	F108	150
EXXON SERVICE STATIO Facility Id: 00000023957	14032 RED HILL AVE	0 - 1/8 (0.000 mi.)	F119	164
UNION OIL SERVICE ST Facility Id: 00000055180	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F123	166
93742 STATION #5678 Facility Id: 00000043742	13922 REDHILL 14081 RED HILL AVE	0 - 1/8 (0.000 mi.) 0 - 1/8 (0.000 mi.)	A125 F168	167 212
93742 Facility Id: 00000062496	13922 RED HILL AVE	0 - 1/8 (0.000 mi.)	A191	226
EXXON SERVICE STATIO TUSTIN HIGH SCHOOL T Facility Id: 00000065920	14032 REDHILL 1171 EL CAMINO REAL	0 - 1/8 (0.000 mi.) NNW 1/8 - 1/4 (0.223 mi.)	F210 225	252 267

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN VALERO SERVIC	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I114	156

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CHEVRON #9-0422 Facility Id: 00000061812	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G129	170
WALID C DAOUD Facility Id: 00000026728	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H170	214

CA FID UST: The Facility Inventory Database contains active and inactive underground storage tank locations. The source is the State Water Resource Control Board.

A review of the CA FID UST list, as provided by EDR, and dated 10/31/1994 has revealed that there are 12 CA FID UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #1077 Facility Id: 30001230 Status: A	13742	0 - 1/8 (0.000 mi.)	B9	22
RED HILL TEXACO SERV Facility Id: 30017237 Facility Id: 30017495 Status: A	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A27	33
MOBIL #18-H7Q Facility Id: 30000829 Status: A	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A40	61
SHELL OIL CO Facility Id: 30000517 Status: A	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A63	89
U - HAUL Facility Id: 30006537 Status: A	1431 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	D87	124
UNOCAL #5678 Facility Id: 30000726 Status: A	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F111	154
ALTA DENA DAIRY Facility Id: 30017601 Status: A	14081 NEWPORT AVE	0 - 1/8 (0.000 mi.)	F197	230
TUSTIN HIGH SCHOOL T Facility Id: 30002941 Status: A	1171 EL CAMINO REAL	NNW 1/8 - 1/4 (0.223 mi.)	225	267

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EXXON #7-0755 Facility Id: 30000722 Status: A	14082 RED HILL	0 - 1/8 (0.000 mi.)	F116	159
SCHER TIRE CENTER Facility Id: 30017582 Status: A	14511 RED HILL AVE	0 - 1/8 (0.000 mi.)	G145	195
ARCO #3045	14231	0 - 1/8 (0.000 mi.)	H174	217

EXECUTIVE SUMMARY

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 12/12/2016 has revealed that there is 1 RCRA NonGen / NLR site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CHEVRON STATION NO 2	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F100	134

FUDS: The Listing includes locations of Formerly Used Defense Sites Properties where the US Army Corps Of Engineers is actively working or will take necessary cleanup actions.

A review of the FUDS list, as provided by EDR, and dated 01/31/2015 has revealed that there is 1 FUDS site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN NATIL GUARD R		S 1/2 - 1 (0.739 mi.)	W270	570

DOD: Consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

A review of the DOD list, as provided by EDR, and dated 12/31/2005 has revealed that there is 1 DOD site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TUSTIN MARINE CORPS		S 1/4 - 1/2 (0.495 mi.)	0	8

FINDS: The Facility Index System contains both facility information and "pointers" to other sources of information that contain more detail. These include: RCRIS; Permit Compliance System (PCS); Aerometric Information Retrieval System (AIRS); FATES (FIFRA [Federal Insecticide Fungicide Rodenticide Act] and TSCA Enforcement System, FTTS [FIFRA/TSCA Tracking System]; CERCLIS; DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes); Federal Underground Injection Control (FURS); Federal Reporting Data System (FRDS); Surface Impoundments (SIA); TSCA Chemicals in Commerce Information System (CICS); PADS; RCRA-J (medical waste transporters/disposers); TRIS; and TSCA. The source of this database is the U.S. EPA/NTIS.

A review of the FINDS list, as provided by EDR, and dated 04/04/2017 has revealed that there are 36 FINDS sites within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GW CLEANUP-TUSTINNAR	13895 REDHILL	0 - 1/8 (0.000 mi.)	A4	9
ARCO #1077	13742 RED HILL	0 - 1/8 (0.000 mi.)	B12	23
SHELL OIL CO	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A18	27
CIRCLE K STORES INC.	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A24	31
MOBIL #18-H7Q	13872 RED HILL	0 - 1/8 (0.000 mi.)	A38	60

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RED HILL CAR WASH	13871 RED HILL	0 - 1/8 (0.000 mi.)	A59	86
SHELL	13891 RED HILL	0 - 1/8 (0.000 mi.)	A65	94
TESORO (SHELL) 68913	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A69	96
GW CLEANUP-TUSTINNAR	13872 REDHILL	0 - 1/8 (0.000 mi.)	A72	99
REDHILL AND EL CAMIN	13872 REDHILL AVE	0 - 1/8 (0.000 mi.)	A73	99
BIG LOTS # 1363	13852 RED HILL AVE	0 - 1/8 (0.000 mi.)	A80	119
TEXACO	13931 RED HILL	0 - 1/8 (0.000 mi.)	A82	120
CARIOCA CLEANERS	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
AT&T MOBILITY - REDH	13814 RED HILL AVE	0 - 1/8 (0.000 mi.)	C91	128
CHEVRON #9-3742	13922 RED HILL	0 - 1/8 (0.000 mi.)	A131	181
RED HILL UNION	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F142	194
SHELL	14042 RED HILL	0 - 1/8 (0.000 mi.)	F143	194
UNOCAL	14081 RED HILL	0 - 1/8 (0.000 mi.)	F147	197
UNOCAL #5678 (AKA TO	14081 RED HILL	0 - 1/8 (0.000 mi.)	F175	217
TACO BELL STORE 1747	14042 RED HILL AVE	0 - 1/8 (0.000 mi.)	F193	227

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
7-ELEVEN # 39017	14090 RED HILL AVE	0 - 1/8 (0.000 mi.)	F93	130
CERTIFIED TIRE & SER	14511 RED HILL AVE	0 - 1/8 (0.000 mi.)	G95	131
CHEVRON STATION NO 2	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F100	134
VERIZON WIRELESS: WE	14551 RED HILL AVE	0 - 1/8 (0.000 mi.)	G103	138
BIG DADDYS OIL 23 IN	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H110	153
99 CENTS ONLY STORES	14551 RED HILL AVE	0 - 1/8 (0.000 mi.)	G117	163
RH CLEANERS	14591 REDHILL AVENUE	0 - 1/8 (0.000 mi.)	J150	199
HASSAN 18	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F164	208
MOMART DELUX CLEANER	14241 REDHILL AVE	0 - 1/8 (0.000 mi.)	H167	209
CHEVRON #9-0422	14501 RED HILL	0 - 1/8 (0.000 mi.)	G173	216
SCHER TIRE INC #17 D	14511 REDHILL AVE	0 - 1/8 (0.000 mi.)	G179	219
EXXON #7-0755	14082 RED HILL	0 - 1/8 (0.000 mi.)	F181	220
STATER BROS. MARKETS	14171 RED HILL AVE	0 - 1/8 (0.000 mi.)	194	227
ARCO #3045	14231 RED HILL	0 - 1/8 (0.000 mi.)	H203	248
GENE ROGERS CHEVRON	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I204	248
WOORI MARKET	14551 RED HILL	0 - 1/8 (0.000 mi.)	G209	252

ECHO: ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

A review of the ECHO list, as provided by EDR, and dated 03/19/2017 has revealed that there are 8 ECHO sites within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SHELL OIL CO	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A18	27
REDHILL AND EL CAMIN	13872 REDHILL AVE	0 - 1/8 (0.000 mi.)	A73	99
CARIOCA CLEANERS	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CHEVRON STATION NO 2	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F100	134
RH CLEANERS	14591 REDHILL AVENUE	0 - 1/8 (0.000 mi.)	J150	199
MOMART DELUX CLEANER	14241 REDHILL AVE	0 - 1/8 (0.000 mi.)	H167	209
SCHER TIRE INC #17 D	14511 REDHILL AVE	0 - 1/8 (0.000 mi.)	G179	219
GENE ROGERS CHEVRON	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I204	248

EXECUTIVE SUMMARY

DRYCLEANERS: A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaners' agents; linen supply; coin-operated laundries and cleaning; drycleaning plants except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

A review of the DRYCLEANERS list, as provided by EDR, and dated 03/09/2017 has revealed that there are 3 DRYCLEANERS sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
VAASU LLC CDBA- PARA EPA Id: CAL000256444 EPA Id: CAL000297372 EPA Id: CAL000417308 EPA Id: CAL000294833	13844 RED HILL AVE	0 - 1/8 (0.000 mi.)	A56	82
Lower Elevation	Address	Direction / Distance	Map ID	Page
RH CLEANERS EPA Id: CAD981981707	14591 RED HILL AVE	0 - 1/8 (0.000 mi.)	G148	197
MOMART DELUX CLEANER EPA Id: CAL000217098 EPA Id: CAD981582349	14241 REDHILL AVE	0 - 1/8 (0.000 mi.)	H167	209

EMI: Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies

A review of the EMI list, as provided by EDR, and dated 12/31/2014 has revealed that there are 5 EMI sites within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CARIOCA CLEANERS Facility Id: 52871	13844 RED HILL RD	0 - 1/8 (0.000 mi.)	A45	68
CARIOCA CLEANERS Facility Id: 66048	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
Lower Elevation	Address	Direction / Distance	Map ID	Page
MOMART DELUX CLEANER Facility Id: 16345	14241 REDHILL AVE.	0 - 1/8 (0.000 mi.)	H107	149
CHEVRON ENVIRONMENTA Facility Id: 150362	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G138	186
RH CLEANERS Facility Id: 9498	14591 REDHILL AVENUE	0 - 1/8 (0.000 mi.)	J150	199

HAZNET: The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000-1,000,000 annually, representing approximately 350,000-500,000 shipments. Data from non-California manifests & continuation sheets are not included at the present time. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, & disposal method. The source is the Department of Toxic Substance Control is the agency. This database begins with calendar year 1993.

A review of the HAZNET list, as provided by EDR, and dated 12/31/2015 has revealed that there are 43

EXECUTIVE SUMMARY

HAZNET sites within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO PRODUCTS COMPAN GEPaid: CAL000044316	13742 REDHILL AVE	0 - 1/8 (0.000 mi.)	B13	23
MAKENA CAPITAL BUILD GEPaid: CAC002562577	1450 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	A16	26
BP WEST COAST PRODUC GEPaid: CAL000244169	13742 RED HILL AVE	0 - 1/8 (0.000 mi.)	B20	28
WASL TUSTIN INVESTOR GEPaid: CAC002640141	13841 RED HILL AVE	0 - 1/8 (0.000 mi.)	C22	30
IRVINE FUEL EXCHANGE GEPaid: CAL000293570	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A23	31
CIRCLE K STORE #2211 GEPaid: CAL000369699	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A32	42
EXXONMOBIL OIL CORPO GEPaid: CAL000055871	13872 RED HILL	0 - 1/8 (0.000 mi.)	A37	58
GRIGOR TEROGANESIAN GEPaid: CAC002573011	13871 RED HILL AVE	0 - 1/8 (0.000 mi.)	A43	67
IRP NEVIS HOMES LLC GEPaid: CAC002597206	1361 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	D46	69
PARADISE CLEANERS GEPaid: CAL000297372	13844 RED HILL AVE	0 - 1/8 (0.000 mi.)	A52	80
PARADISE CLEANERS GEPaid: CAL000294833	13844 RED HILL AVE	0 - 1/8 (0.000 mi.)	A58	84
SHELL OIL CO GEPaid: CAL000352561	13891 REDHILL AVE	0 - 1/8 (0.000 mi.)	A63	89
REDHILL AND EL CAMIN GEPaid: CAD983588013	13872 REDHILL	0 - 1/8 (0.000 mi.)	A71	97
1X BARBARA TYSON GEPaid: CAC000837456	13641 REDHILL AVE	0 - 1/8 (0.000 mi.)	E74	102
PNS BIG LOTS #1363 GEPaid: CAL000391167	13852 RED HILL AVE	0 - 1/8 (0.000 mi.)	A79	117
U HAUL CENTER GEPaid: CAL000113945	1431 EL CAMINO REAL	0 - 1/8 (0.000 mi.)	D84	121
CARIOCA CLEANERS GEPaid: CAD981617962	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C90	124
ZAREH ZAREH DENTAL I GEPaid: CAL000269502	13830 RED HILL AVE	0 - 1/8 (0.000 mi.)	C92	129
RED HILL UNOCAL 76 GEPaid: CAL000123201	14081 RED HILL AVENU	0 - 1/8 (0.000 mi.)	F112	154
TOSCO CORPORATION ST GEPaid: CAL000135599	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F115	158
RED HILL UNION GEPaid: CAL000354967	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F153	203
CONOCO PHILLIPS #255 GEPaid: CAL000278063	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F156	204
1X SHELL OIL CO	14042 RED HILL	0 - 1/8 (0.000 mi.)	F162	208

EXECUTIVE SUMMARY

GEPaid: CAC000613088				
CHEVRON 93742	13922 RED HILL AVE	0 - 1/8 (0.000 mi.)	A195	228
GEPaid: CAL000005719				
ALTA DENA DAIRY	14081 NEWPORT AVE	0 - 1/8 (0.000 mi.)	F197	230
GEPaid: CAL000322994				
Lower Elevation	Address	Direction / Distance	Map ID	Page
CHEVRON PRODUCTS SS#	14082 RED HILL	0 - 1/8 (0.000 mi.)	F98	132
GEPaid: CAL000336011				
GEPaid: CAL000169631				
CHEVRON STATION NO 2	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F100	134
GEPaid: CAR000118299				
TUSTIN VALERO SERVIC	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I114	156
GEPaid: CAL000214436				
GENE ROGERS CHEVRON	14501 REDHILL	0 - 1/8 (0.000 mi.)	I126	168
GEPaid: CAD983584582				
SCHER TIRE #17	14511 RED HILL AVE	0 - 1/8 (0.000 mi.)	G130	179
GEPaid: CAL000121613				
RED HILL MITCHELL GA	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H133	182
GEPaid: CAL000262860				
MOMART DELUX CLEANER	14241 REDHILL	0 - 1/8 (0.000 mi.)	H134	184
GEPaid: CAL000217098				
BP WEST COAST PRODUC	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H140	190
GEPaid: CAL000244253				
ARCO PRODUCTS COMPAN	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H146	195
GEPaid: CAL923576144				
RH CLEANERS	14591 REDHILL AVENUE	0 - 1/8 (0.000 mi.)	J150	199
GEPaid: CAD981981707				
GOODYEAR TIRE CTR	14511 REDHILL	0 - 1/8 (0.000 mi.)	G157	206
GEPaid: CAL000000065				
CHEVRON 90422	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G169	212
GEPaid: CAL000138955				
MOMART DELUX CLEANER	14241 REDHILL	0 - 1/8 (0.000 mi.)	H185	222
GEPaid: CAD981582349				
RONALD YAMACHIKA DDS	14213 RED HILL AVE	0 - 1/8 (0.000 mi.)	H186	223
GEPaid: CAL000174718				
JOHN YEGENIAN CHEVRO	14082 REDHILL AVE	0 - 1/8 (0.000 mi.)	F187	223
GEPaid: CAL000002697				
GENE ROGERS CHEVRON	14501 REDHILL AVE	0 - 1/8 (0.000 mi.)	I189	225
GEPaid: CAL000020637				
BIG DADDYS OIL 23 IN	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H196	229
GEPaid: CAL000345689				
SCHER TIRE NO 17 DBA	14511 REDHILL AVE	0 - 1/8 (0.000 mi.)	G200	246
GEPaid: CAR000088187				

EXECUTIVE SUMMARY

HIST CORTESE: The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTATES]. This listing is no longer updated by the state agency.

A review of the HIST CORTESE list, as provided by EDR, and dated 04/01/2001 has revealed that there are 23 HIST CORTESE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #1077 Reg Id: 083001980T	13742	0 - 1/8 (0.000 mi.)	B9	22
TEXACO Reg Id: 083001142T	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A28	34
MOBIL #18-H7Q Reg Id: 083000982T	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A40	61
RED HILL CAR WASH Reg Id: 083000321T	13871 RED HILL	0 - 1/8 (0.000 mi.)	A51	72
SHELL SERVICE STATIO Reg Id: 083000356T	13891 RED HILL	0 - 1/8 (0.000 mi.)	A77	103
SHELL SERVICE STATIO Reg Id: 083001713T	14042 RED HILL	0 - 1/8 (0.000 mi.)	F109	151
CHEVRON #9-3742 Reg Id: 083000099T	13922 RED HILL	0 - 1/8 (0.000 mi.)	A141	192
ALTA DENA DAIRY Reg Id: 083000721T	14081 NEWPORT AVE	0 - 1/8 (0.000 mi.)	F197	230
CHEVRON STATION #920 Reg Id: 083000488T	14122 NEWPORT AVE	WNW 1/4 - 1/2 (0.400 mi.)	O234	289
SOUTHERN COUNTIES OI Reg Id: 083003634T	13922 NEWPORT AVE	NNW 1/4 - 1/2 (0.403 mi.)	P235	293
UNOCAL #4953 Reg Id: 083001385T	14011 NEWPORT	NW 1/4 - 1/2 (0.409 mi.)	Q237	305
GW CLEANUP-TUSTIN, N Reg Id: 8 302512001	14244 NEWPORT	WNW 1/4 - 1/2 (0.410 mi.)	R240	315
ARCO #1865 Reg Id: 083000459T	14244	WNW 1/4 - 1/2 (0.410 mi.)	R241	324
G & M OIL Reg Id: 083003458T	14001 NEWPORT BLVD	NW 1/4 - 1/2 (0.411 mi.)	Q242	324
ARCO #3132 Reg Id: 083001279T	13662 NEWPORT	N 1/4 - 1/2 (0.416 mi.)	245	337
TEXACO SERVICE STATI Reg Id: 083001134T	14041	NW 1/4 - 1/2 (0.420 mi.)	O246	340
UNOCAL #5386 Reg Id: 083001807T	13348	N 1/4 - 1/2 (0.485 mi.)	T257	364
TUSTIN AUTO WASH Reg Id: 083003629T	535 E MAIN ST	N 1/4 - 1/2 (0.485 mi.)	U258	364
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EXXON #7-0755 Reg Id: 083000709T	14082 RED HILL	0 - 1/8 (0.000 mi.)	F116	159
ARCO #3045	14231	0 - 1/8 (0.000 mi.)	H174	217

EXECUTIVE SUMMARY

sites within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GAZZ INTERNATIONAL I	13742 RED HILL AVE	0 - 1/8 (0.000 mi.)	B7	12
RED HILL TEXACO	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A21	30
REDHILL TEXACO	13931 REDHILL AVE	0 - 1/8 (0.000 mi.)	A30	38
CALVETTI INC	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A39	60
REDHILL CAR WASH	13871 RED HILL AVE	0 - 1/8 (0.000 mi.)	A42	66
THREE-S ASSOCIATES *	13871 REDHILL AVE	0 - 1/8 (0.000 mi.)	A50	72
SAMS SHELL	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A70	96
REDHILL MOBIL SERVIC	13872 REDHILL	0 - 1/8 (0.000 mi.)	A75	102
ASSAFS SHELL	14042 REDHILL AVE	0 - 1/8 (0.000 mi.)	F120	165
REDHILL UNION	14081 REDHILL AVE	0 - 1/8 (0.000 mi.)	F136	185
BENS CHEVRON SERVICE	13922 RED HILL AVE	0 - 1/8 (0.000 mi.)	A172	216
ASSAFS SHELL	14042 RED HILL AVE	0 - 1/8 (0.000 mi.)	F184	221
NEKOUIE HENRY	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F199	245
USA MOBILE CAR WASH	13656 RED HILL AVE	NE 0 - 1/8 (0.002 mi.)	E212	253
AMERICAN AUTOMOTIVE	1162 EL CAMINO REAL	N 0 - 1/8 (0.071 mi.)	K219	256

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HILL ROBERT H INC	14511 RED HILL	0 - 1/8 (0.000 mi.)	G94	130
JOHNSON KAREN MINI M	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H99	133
JOHNS TOWING	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F104	139
TUSTIN VALERO SERVIC	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G124	166
AM/PM MINI MARKET	14231 REDHILL	0 - 1/8 (0.000 mi.)	H207	250
TIGER AUTO INC	1602 NISSON RD APT C	ESE 0 - 1/8 (0.017 mi.)	214	253
SPECTRUM GARAGE DOOR	13841 TUSTIN EAST DR	ENE 0 - 1/8 (0.085 mi.)	221	258

EDR Hist Cleaner: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Cleaner list, as provided by EDR, has revealed that there are 9 EDR Hist Cleaner sites within approximately 0.125 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HAMILTON CLEANERS	13844 RED HILL AVE	0 - 1/8 (0.000 mi.)	A44	67
CARIOCA CLEANERS	13844 REDHILL AVE	0 - 1/8 (0.000 mi.)	C83	120
EAST BLUFF CLEANING	13722 RED HILL AVE	NE 0 - 1/8 (0.025 mi.)	215	253
WEST JASON H	14122 UTT DR	WNW 0 - 1/8 (0.049 mi.)	217	255
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BEST CLEANER & SHOE	14102 RED HILL AVE	0 - 1/8 (0.000 mi.)	F121	165
R H CLEANERS	14591 RED HILL AVE	0 - 1/8 (0.000 mi.)	G149	198
R H CLEANERS	14591 REDHILL	0 - 1/8 (0.000 mi.)	J151	203
MOMARK DELUXE CLEANER	14241 RED HILL AVE	0 - 1/8 (0.000 mi.)	H177	218
SUNSHINE CARPET DYG	14675 RED HILL AVE	SW 0 - 1/8 (0.052 mi.)	218	256

EXECUTIVE SUMMARY

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA LUST: The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the State Water Resources Control Board in California.

A review of the RGA LUST list, as provided by EDR, has revealed that there are 50 RGA LUST sites within approximately 0.001 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MOBIL SS #18-H7Q	13872 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A1	8
MOBIL SERVICE STATIO	13872 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A2	8
MOBIL #18-H7Q	13872 RED HILL	0 - 1/8 (0.000 mi.)	A3	8
MOBIL #18-H7Q	13872 RED HILL AVE	0 - 1/8 (0.000 mi.)	A10	23
ARCO #1077	13742 RED HILL AVE	0 - 1/8 (0.000 mi.)	B11	23
SHELL SERVICE STATIO	13891 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A14	25
ARCO SERVICE STATION	13742 RED HILL AVENU	0 - 1/8 (0.000 mi.)	B15	25
ARCO #1077	13742 RED HILL	0 - 1/8 (0.000 mi.)	B19	28
TEXACO SERVICE STATI	13931 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A26	33
RED HILL CAR WASH	13871 RED HILL	0 - 1/8 (0.000 mi.)	A41	66
REDHILL CAR WASH	13871 REDHILL	0 - 1/8 (0.000 mi.)	A48	71
RED HILL CAR WASH	13871 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A49	71
REDHILL CAR WASH	13871 RED HILL	0 - 1/8 (0.000 mi.)	A54	82
RED HILL CAR WASH	13871 RED HILL AVE	0 - 1/8 (0.000 mi.)	A57	84
SHELL	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A62	88
SHELL #13891	13891 RED HILL AVE	0 - 1/8 (0.000 mi.)	A64	93
SHELL OIL	13891 RED HILL	0 - 1/8 (0.000 mi.)	A66	94
SHELL	13891 RED HILL	0 - 1/8 (0.000 mi.)	A67	94
TEXACO	13931 RED HILL	0 - 1/8 (0.000 mi.)	A86	123
TEXACO SERVICE STATI	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A88	124
TEXACO	13931 RED HILL AVE	0 - 1/8 (0.000 mi.)	A89	124
SHELL	14042 RED HILL AVE	0 - 1/8 (0.000 mi.)	F113	156
CHEVRON SERVICE STAT	13922 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A137	186
CHEVRON #9-3742	13922 RED HILL AVE	0 - 1/8 (0.000 mi.)	A144	194
UNOCAL #5678 (AKA TO	14081 RED HILL	0 - 1/8 (0.000 mi.)	F152	203
TOSCO - 76 #5678	14081 RED HILL	0 - 1/8 (0.000 mi.)	F154	204
UNOCAL	14081 RED HILL AVE E	0 - 1/8 (0.000 mi.)	F159	207
SHELL #14042	14042 RED HILL AVE	0 - 1/8 (0.000 mi.)	F160	207
UNOCAL #5678	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F165	209
SHELL SERVICE STATIO	14042 REDHILL AVENU	0 - 1/8 (0.000 mi.)	F166	209
CHEVRON #9-3742	13922 RED HILL	0 - 1/8 (0.000 mi.)	A176	218
SHELL	14042 RED HILL	0 - 1/8 (0.000 mi.)	F178	219
SHELL SERVICE STATIO	14042 RED HILL AVENU	0 - 1/8 (0.000 mi.)	F180	219
CHEVRON S S #3742	13922 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A188	225
UNOCAL SERVICE STATI	14081 RED HILL AVENU	0 - 1/8 (0.000 mi.)	F192	227
TOSCO - 76 STATION #	14081 RED HILL AVE	0 - 1/8 (0.000 mi.)	F201	248
CHEVRON SS #3742	13922 RED HILL AVENU	0 - 1/8 (0.000 mi.)	A202	248
UNOCAL	14081 RED HILL	0 - 1/8 (0.000 mi.)	F206	250
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EXXON SERVICE STATIO	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F96	131
ARCO SERVICE STATION	14231 RED HILL AVENU	0 - 1/8 (0.000 mi.)	H97	131

EXECUTIVE SUMMARY

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ARCO #3045	14231 RED HILL	0 - 1/8 (0.000 mi.)	H101	138
ARCO SERVICE STATION	14231 RED HILL AVENU	0 - 1/8 (0.000 mi.)	H118	163
ARCO #3045	14231 RED HILL AVE	0 - 1/8 (0.000 mi.)	H122	165
CHEVRON #9-0422	14501 RED HILL	0 - 1/8 (0.000 mi.)	G128	169
EXXON #7-0755	14082 RED HILL	0 - 1/8 (0.000 mi.)	F135	185
ARCO SERVICE STATION	14231 RED HILL AVENU	0 - 1/8 (0.000 mi.)	H158	207
EXXON #7-0755	14082 RED HILL AVE	0 - 1/8 (0.000 mi.)	F163	208
EXXON SERVICE STATIO	14082 RED HILL AVENU	0 - 1/8 (0.000 mi.)	F183	221
CHEVRON #9-0422	14501 RED HILL AVE	0 - 1/8 (0.000 mi.)	G190	226
EXXON SERVICE STATIO	14082 RED HILL AVENU	0 - 1/8 (0.000 mi.)	F205	250

EXECUTIVE SUMMARY

There were no unmapped sites in this report.

OVERVIEW MAP - 4964215.2S



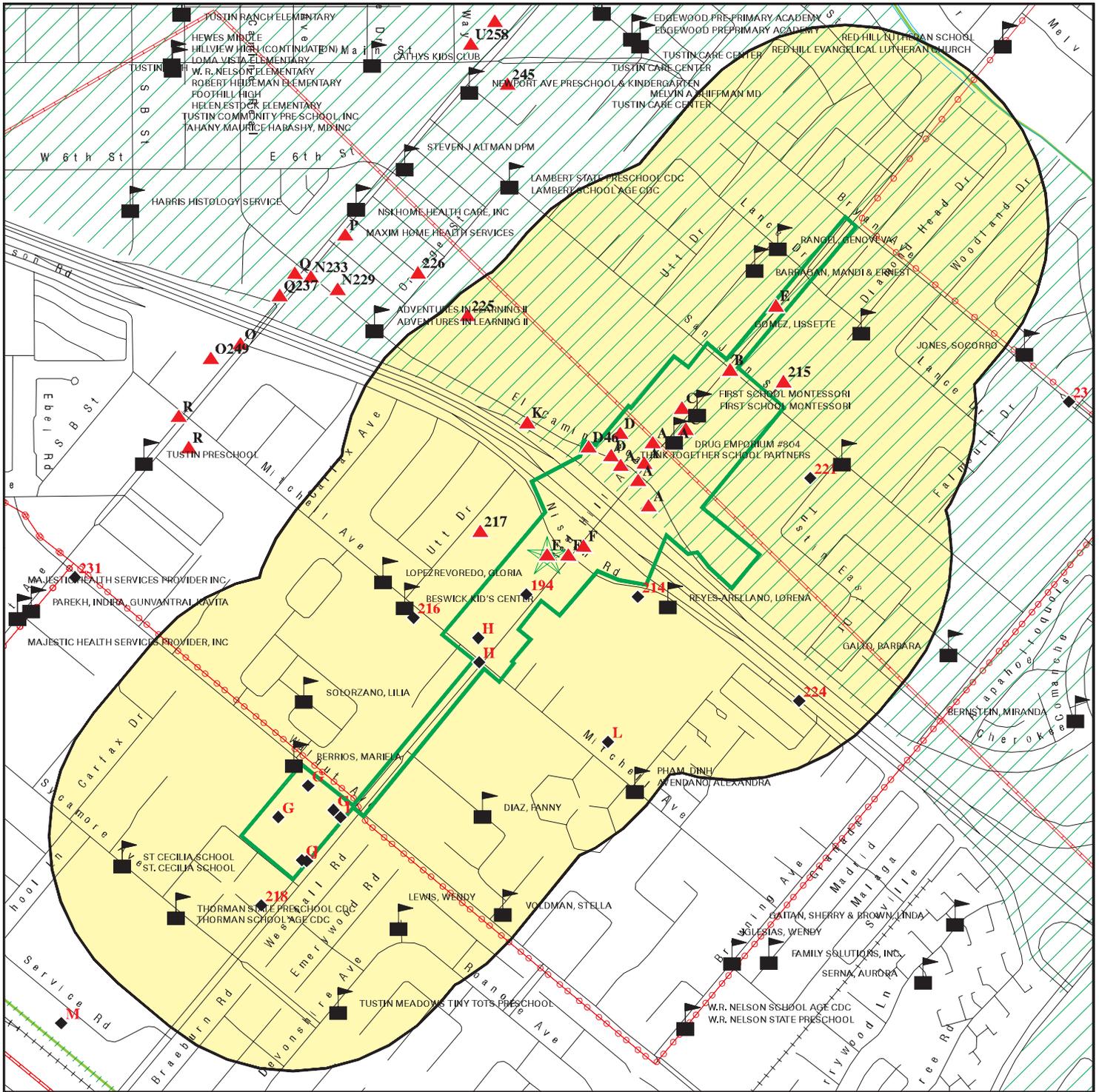
-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  National Priority List Sites
-  Dept. Defense Sites
-  Indian Reservations BIA
-  Power transmission lines
-  Pipelines
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory
-  State Wetlands
-  Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Exhibit 1-2
 ADDRESS: NA
 Tustin CA 92780
 LAT/LONG: 33.732776 / 117.816698

CLIENT: Kimley Horn & Associates, Inc.
 CONTACT: Casey Schooner
 INQUIRY #: 4964215.2s
 DATE: June 12, 2017 7:56 pm

DETAIL MAP - 4964215.2S



- Target Property
- Sites at elevations higher than or equal to the target property
- Sites at elevations lower than the target property
- Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites
- Indian Reservations BIA
- Power transmission lines
- Pipelines
- 100-year flood zone
- 500-year flood zone
- National Wetland Inventory
- State Wetlands
- Areas of Concern



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Exhibit 1-2 ADDRESS: NA Tustin CA 92780 LAT/LONG: 33.732776 / 117.816698</p>	<p>CLIENT: Kimley Horn & Associates, Inc. CONTACT: Casey Schooner INQUIRY #: 4964215.2s DATE: June 12, 2017 8:01 pm</p>
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Exhibit 1-2

NA
Tustin, CA 92780

Inquiry Number: 4964215.8
June 12, 2017

EDR Building Permit Report

Target Property and Adjoining Properties

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SECTION

About This Report

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Thank you for your business.

Please contact EDR at 1-800-352-0050
with any questions or comments.

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EDR BUILDING PERMIT REPORT

About This Report

The EDR Building Permit Report provides a practical and efficient method to search building department records for indications of environmental conditions. Generated via a search of municipal building permit records gathered from more than 1,600 cities nationwide, this report will assist you in meeting the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

Building permit data can be used to identify current and/or former operations and structures/features of environmental concern. The data can provide information on a target property and adjoining properties such as the presence of underground storage tanks, pump islands, sumps, drywells, etc., as well as information regarding water, sewer, natural gas, electrical connection dates, and current/former septic tanks.

ASTM and EPA Requirements

ASTM E 1527-13 lists building department records as a "standard historical source," as detailed in § 8.3.4.7: "Building Department Records - The term building department records means those records of the local government in which the property is located indicating permission of the local government to construct, alter, or demolish improvements on the property." ASTM also states that "Uses in the area surrounding the property shall be identified in the report, but this task is required only to the extent that this information is revealed in the course of researching the property itself."

EPA's Standards and Practices for All Appropriate Inquiries (AAI) states: "§312.24: Reviews of historical sources of information. (a) Historical documents and records must be reviewed for the purposes of achieving the objectives and performance factors of §312.20(e) and (f). Historical documents and records may include, but are not limited to, aerial photographs, fire insurance maps, building department records, chain of title documents, and land use records."

Methodology

EDR has developed the EDR Building Permit Report through our partnership with BuildFax, the nation's largest repository of building department records. BuildFax collects, updates, and manages building department records from local municipal governments. The database now includes 30 million permits, on more than 10 million properties across 1,600 cities in the United States.

The EDR Building Permit Report comprises local municipal building permit records, gathered directly from local jurisdictions, including both target property and adjoining properties. Years of coverage vary by municipality. Data reported includes (where available): date of permit, permit type, permit number, status, valuation, contractor company, contractor name, and description.

Incoming permit data is checked at seven stages in a regimented quality control process, from initial data source interview, to data preparation, through final auditing. To ensure the building department is accurate, each of the seven quality control stages contains, on average, 15 additional quality checks, resulting in a process of approximately 105 quality control "touch points."

For more information about the EDR Building Permit Report, please contact your EDR Account Executive at (800) 352-0050.



EXECUTIVE SUMMARY: SEARCH DOCUMENTATION

A search of building department records was conducted by Environmental Data Resources, Inc (EDR) on behalf of Kimley Horn & Associates, Inc. on Jun 12, 2017.

TARGET PROPERTY

NA
Tustin, CA 92780

SEARCH METHODS

EDR searches available lists for both the Target Property and Surrounding Properties.

RESEARCH SUMMARY

Building permits identified: **YES**

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

Tustin

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>
2015	City of Tustin, Building Division		X
2014	City of Tustin, Building Division		X
2013	City of Tustin, Building Division		X
2012	City of Tustin, Building Division		X

BUILDING DEPARTMENT RECORDS SEARCHED

Name: Tustin
Years: 2012-2015
Source: City of Tustin, Building Division, TUSTIN, CA
Phone: (714) 573-3131

Name: Anaheim
Years: 2000-2017
Source: City of Anaheim, Planning & Building Department, ANAHEIM, CA
Phone: (714) 765-5153

Name: Irvine
Years: 1982-2017
Source: City of Irvine, Building and Safety, IRVINE, CA
Phone: (949) 724-6470

Name: Orange County
Years: 1990-2017
Source: Orange County, Planning and Development Services, ORANGE, CA
Phone: (714) 834-5238

Name: San Bernardino County
Years: 2002-2017
Source: San Bernardino County, Land Use, Building & Safety, SAN BERNARDINO, CA
Phone: (909) 387-8311

Name: Huntington Beach
Years: 1996-2017
Source: Huntington Beach, Dept. of Building and Safety, HUNTINGTON BEACH, CA
Phone: (714) 536-5241

Name: Newport Beach
Years: 2003-2017
Source: City of Newport Beach, Community Development Department, NEWPORT BEACH, CA
Phone: (949) 718-1888

TARGET PROPERTY FINDINGS

TARGET PROPERTY DETAIL

NA

Tustin, CA 92780

No Permits Found

ADJOINING PROPERTY FINDINGS

ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

NISSON RD

1372 NISSON RD

Date: **9/24/2014**
Permit Type: **PLUM**
Description:

Permit Description: **Plumbing**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: P2014-0179
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **10/6/2005**
Permit Type: **BLDG**
Description: **REMOVE ALL EXTERIOR WOOD SIDING, REPLACE WITH STUCCO**

Permit Description: **Building**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: B05-0451
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

1412 NISSON RD

Date: **10/1/2002**
Permit Type: **COMBO**
Description: **add new gas meter for bbq & 2 bbq over 42"**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C02-0328
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: OWNER

1439 NISSON RD

Date: **9/12/2012**
Permit Type: **COMBO**
Description:

Permit Description: **Combination**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: C2012-0243
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

Date: **3/25/2002**
Permit Type: **BLDG**
Description: **T/O RF, REPL W/ 20YR COMP SHINGLES, GAF**

Permit Description: **Building**
Work Class: Multi Family Dwelling Roof
Proposed Use:
Permit Number: B02-0151
Status: EXPIRED
Valuation: \$7,000.00
Contractor Company:
Contractor Name: CENTRAL ROOFING COMPANY

1441 NISSON RD

Date: **9/12/2012**
Permit Type: **COMBO**
Description:

Permit Description: **Combination**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: C2012-0244
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **3/25/2002**
Permit Type: **BLDG**
Description: **T/O RF, REPL W/20 YR COMP**

Permit Description: **Building**
Work Class: Multi Family Dwelling Roof
Proposed Use:
Permit Number: B02-0148
Status: EXPIRED
Valuation: \$7,000.00
Contractor Company:
Contractor Name: CENTRAL ROOFING COMPANY

ADJOINING PROPERTY FINDINGS

1451 NISSON RD

Date: **9/22/2014**
Permit Type: **COMBO**
Description:

Permit Description: **Combination**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: C2014-0210
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **9/12/2012**
Permit Type: **COMBO**
Description:

Permit Description: **Combination**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: C2012-0245
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **8/2/2011**
Permit Type: **PLUM**
Description: **SEWER CONNECT TO LATERAL (APARTMENT UNITS)**

Permit Description: **Plumbing**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: P2011-0164
Status: APPLIED
Valuation: \$200,000.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

1471 NISSON RD

Date: **4/23/2010**
Permit Type: **SIGN**
Description: **FACECHANGE TO EXISTING POLE SIGN**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S10-0026
Status: FINALED
Valuation: \$1,255.00
Contractor Company:
Contractor Name: ENCORE IMAGE

Date: **10/18/2002**
Permit Type: **BLDG**
Description: **install 1 flagpole 35' high**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B02-0437
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: SO CALIF FLAGPOLE

Date: **4/2/2002**
Permit Type: **BLDG**
Description: **T/O ROOF, REPL WITH 3 PLY HOT MOP-LOWER LEVEL @ 2ND STORY**

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B02-0160
Status: EXPIRED
Valuation: \$7,500.00
Contractor Company:
Contractor Name: ISLAND PACIFIC ROOFING

ADJOINING PROPERTY FINDINGS

Date: **1/30/2001**
Permit Type: **BLDG**
Description: **REROOF-T/O EXISTING & CAP SHEET**

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B01-0029
Status: FINALED
Valuation: \$5,500.00
Contractor Company:
Contractor Name: MR. ROOFER

RED HILL AVE

14042 RED HILL AVE

Date: **2/23/2015**
Permit Type: **COMBO**
Description:

Permit Description: **Combination**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: C2015-0059
Status: APPLIED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

Date: **10/28/2014**
Permit Type: **ELEC**
Description:

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E2014-0097
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **2/4/2014**
Permit Type: **SIGN**
Description:

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S2014-0012
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **12/21/2009**
Permit Type: **COMBO**
Description: **T.I. IN DINNING AREA ONLY 1208-SQFT "TACO BELL"**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C09-0485
Status: FINALED
Valuation: \$25,633.76
Contractor Company:
Contractor Name: CRABB CONSTRUCTION COMPANY INC

ADJOINING PROPERTY FINDINGS

Date: **3/18/2009**
Permit Type: **COMBO**
Description: **REMOVE & REPLACE SPEAKER POST CANOPY & ENTRY CLEARANCE PORTAL
"TACO BELL"**

Permit Description: **Combination**
Work Class: Commercial Other
Proposed Use:
Permit Number: C09-0113
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: CUMMINGS WEST

Date: **12/12/2008**
Permit Type: **COMBO**
Description: **T.I. IN DINNING AREA ONLY 1208-SQFT "TACO BELL"**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C08-0887
Status: WITHDRWN
Valuation: \$25,633.76
Contractor Company:
Contractor Name: CRAFT CONSTRUCTION COMPANY

Date: **10/5/2005**
Permit Type: **ELEC**
Description: **install underground conduit.**

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E05-0075
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name: O H M ELECTRIC

ADJOINING PROPERTY FINDINGS

14081 RED HILL AVE

Date: **3/25/2009**
Permit Type: **BLDG**
Description: **ATTACHED STORAGE SHED 10' X 10' (76 GAS STATION)**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B09-0046
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: CALCRAFT CORPORATION

Date: **6/30/2008**
Permit Type: **COMBO**
Description: **INSTALL NEW ABOVE GROUND HEALY TANK & CONSTRUCT NEW TWO BIN TRASH ENCLOSURE PER CITY**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C08-0564
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: CHARLES

ADJOINING PROPERTY FINDINGS

Date: **9/26/2007**
Permit Type: **SIGN**
Description: **WRAP EXISTING CANOPY FASCIA AND NEW LOGO SIGNS**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S07-0142
Status: EXPIRED
Valuation: \$20,000.00
Contractor Company:
Contractor Name: HUGHES - NELSON PAINTING INC DBA APEX PAIN

Date: **10/9/2006**
Permit Type: **COMBO**
Description: **REMOVE EXISTING BALL SIGN & PRICE SIGN, REPLACE WITH NEW MONUMENT SIGN with new FOOTING, R**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C06-0898
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: SWAIN SIGN INC

Date: **11/22/2004**
Permit Type: **COMBO**
Description: **VAPOR EXTRACTION SYSTEM**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C04-0598
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: WAYNE PERRY INC

ADJOINING PROPERTY FINDINGS

Date: **1/22/2004**
Permit Type: **COMBO**
Description: **REPLACE ABOVE GROUND 1,150 GAL PROPANE TANK**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C04-0019
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: FERRELLGAS

Date: **3/8/2002**
Permit Type: **SIGN**
Description: **FWY SIGN RE-FACE " 76" 188sf**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S02-0014
Status: FINALED
Valuation: \$6,100.00
Contractor Company:
Contractor Name: DONCO & SONS INC

ADJOINING PROPERTY FINDINGS

14082 RED HILL AVE

Date: **12/31/2008**
Permit Type: **SIGN**
Description: **(2) NEW ILLUMINATED SIGNS, (1) NEW NON-ILLUMINATED SIGN, (2) FACE CHANGES TO MONUMENT SIGN**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S09-0001
Status: ISSUED
Valuation: \$5,000.00
Contractor Company:
Contractor Name: DONCO & SONS INC

Date: **11/1/2007**
Permit Type: **ELEC**
Description: **(4) RECEPTACLES - INTERCEPT EXIST DISPENSER CONDUIT & EXTEND TO NEW LOCATION, NEW WIRE TO**

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E07-0204
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: WAYNE PERRY INC

ADJOINING PROPERTY FINDINGS

Date: **8/28/2007**
Permit Type: **PLUM**
Description: **REMOVE & REPLACE DISPENSERS & ASSOCIATES PIPING MONITORING SYSTEMS**

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P07-0269
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **7/20/2007**
Permit Type: **BLDG**
Description: **ADDING NEW HEALY ABOVE GROUND TANK**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B07-0381
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: WAYNE PERRY INC

Date: **7/5/2007**
Permit Type: **SIGN**
Description: **FACE CHANGE "CHEVRON" CANOPY SIGN, MONUMENT**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S07-0095
Status: FINALED
Valuation: \$20,000.00
Contractor Company:
Contractor Name: YOUNG ELECTRIC SIGN CO

ADJOINING PROPERTY FINDINGS

Date: **8/26/2004**
Permit Type: **COMBO**
Description: **PHASE I VAPOR RECOVERY EQUIPMENT UPGRADE-U/G TANKS**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C04-0490
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: PETRO-BUILDERS INC

Date: **10/1/2003**
Permit Type: **ELEC**
Description:

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E03-0052
Status: WITHDRWN
Valuation: \$0.00
Contractor Company:
Contractor Name: SHINE ELECTRICAL INC

Date: **10/1/2003**
Permit Type: **SIGN**
Description: **RELOCATE EXISTING ILLUM MONUMENT SIGN "CHEVRON"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S03-0060
Status: ISSUED
Valuation: \$4,000.00
Contractor Company:
Contractor Name: SHINE ELECTRICAL INC

ADJOINING PROPERTY FINDINGS

Date: **7/22/2002**
Permit Type: **BLDG**
Description: **REPAIR UNDERGROUND STORAGE TANK**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B02-0303
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: PETRO-BUILDERS INC

14090 RED HILL AVE

Date: **1/22/2010**
Permit Type: **COMBO**
Description: **7/11 TI**

Permit Description: **Combination**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: C10-0021
Status: WITHDRWN
Valuation: \$30,000.00
Contractor Company:
Contractor Name:

Date: **1/19/2010**
Permit Type: **ELEC**
Description: **INSTALL NEW 6 RECEPTACLES (7-11)**

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E10-0005
Status: ISSUED
Valuation: \$2,000.00
Contractor Company:
Contractor Name: MATTOX ELECTRIC

ADJOINING PROPERTY FINDINGS

Date: **4/24/2007**
Permit Type: **COMBO**
Description: **INSTALL NEW REPLACEMENT SERVICE, 600 AMP - ELECT ONLY**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C07-0352
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: ALLIED INTERSTATE DEVELOPMENT CORPORATION

Date: **10/26/2006**
Permit Type: **SIGN**
Description: **1 SET OF ILLUM CHANNEL LETTERS & REFACE EXIST POLE SIGN 24 SF 7-ELEVEN**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S06-0104
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: YOUNG ELECTRIC SIGN CO

Date: **8/17/2006**
Permit Type: **COMBO**
Description: **TI FOR 7-ELEVEN**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C06-0725
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: RD BUILDERS

ADJOINING PROPERTY FINDINGS

Date: **5/4/2005**
Permit Type: **SIGN**
Description: **1 SET ILLUM CHANNEL LTRS "COLOR COPY - SIGNS & BANNERS"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S05-0028
Status: FINALED
Valuation: \$2,000.00
Contractor Company:
Contractor Name: SIGNS & SERVICES COMPANY

Date: **3/31/2005**
Permit Type: **PLUM**
Description: **REPLACE 3-COMPARTMENT SINK, WASH BASIN, WATER HEATER**

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P05-0082
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: FLOWTECH PLUMBING & ROOTER INC

Date: **3/29/2005**
Permit Type: **MECH**
Description: **REPLACE 1/3 HP REFRIGERATION COMPRESSOR**

Permit Description: **Mechanical**
Work Class:
Proposed Use:
Permit Number: M05-0007
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: HAIGHT & HAIGHT INC

ADJOINING PROPERTY FINDINGS

Date: **2/17/2005**
Permit Type: **BLDG**
Description: **NEW TRASH ENCLOSURE, 33'LF BY 6'HIGH, REF. PERMIT AND PLANS ON C03-0147**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B05-0062
Status: FINALED
Valuation: \$1,188.00
Contractor Company:
Contractor Name:

Date: **2/2/2005**
Permit Type: **ELEC**
Description: **ELECTRICAL ONLY; NEW OUTLETS& FIXTURES, CONDUITS**

Permit Description: **Electrical**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: E05-0007
Status: FINALED
Valuation: \$15,000.00
Contractor Company:
Contractor Name: VARDIMAN ELECTRIC

Date: **5/16/2003**
Permit Type: **COMBO**
Description: **FASCADE REMODEL**

Permit Description: **Combination**
Work Class: Commercial Other
Proposed Use:
Permit Number: C03-0147
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

14102 RED HILL AVE

Date: **12/1/2010**
Permit Type: **SIGN**
Description: **WALL SIGN "PAC-N-SHIP" 28-SQFT**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S10-0071
Status: FINALED
Valuation: \$3,750.00
Contractor Company:
Contractor Name: SIGNS & SERVICES COMPANY

14108 RED HILL AVE

Date: **8/29/2007**
Permit Type: **SIGN**
Description: **WALL SIGN " METRO PCS AUTHORIZED DEALER" CHANNEL LETTERS**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S07-0124
Status: EXPIRED
Valuation: \$2,000.00
Contractor Company:
Contractor Name: COST SIGN

ADJOINING PROPERTY FINDINGS

Date: **5/24/2005**
Permit Type: **SIGN**
Description: **1 SET ILLUM WALL SIGN "CHEAP AUTO INSUANCE"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S05-0035
Status: FINALED
Valuation: \$4,000.00
Contractor Company:
Contractor Name: SIGNS & SERVICES COMPANY

14122 RED HILL AVE

Date: **8/14/2007**
Permit Type: **SIGN**
Description: **(1) ILLUMINATED MONUMENT SIGN 22 SF "BELLA DENTAL GROUP"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S07-0119
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: SIGN MAX

Date: **4/25/2001**
Permit Type: **SIGN**
Description: **Illuminated Monument Sign "Dentist"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S01-0021
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: ACCORD CONSTRUCTION

ADJOINING PROPERTY FINDINGS

Date: **12/21/2000**
Permit Type: **ELEC**
Description: **SUITES A,B,C &D- ADDING NEW METERS**

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E00-0488
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: OWNER

Date: **11/14/2000**
Permit Type: **BLDG**
Description: **REPLACE WOODEN FENCE WITH WROUGHT IRON FENCE PER CITY STANDARDS**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B00-0816
Status: FINALED
Valuation: \$2,500.00
Contractor Company:
Contractor Name: DEJ

14131 RED HILL AVE

Date: **1/30/2014**
Permit Type: **SIGN**
Description:

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S2014-0007
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

Date: **5/28/2009**
Permit Type: **PLUM**
Description: **KITCHEN HOOD SYSTEM "TRADITIONS INDIAN CUISINE"**

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P09-0106
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: HEDRICK FIRE PROTECTION

Date: **5/20/2009**
Permit Type: **PLUM**
Description: **INSTALL (6) BURNER RANGE, (3) RING STOCK POT, 35LB DEEP FRYER, & CLAY OVEN, GAS FIRED**

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P09-0101
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **4/21/2009**
Permit Type: **SIGN**
Description: **ILLUMINATED SIGN FOR "TRADITIONS"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S09-0015
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: P V L SIGNS & GRAPHICS

ADJOINING PROPERTY FINDINGS

Date: **10/12/2006**
Permit Type: **SIGN**
Description: **1 WALL CHANNEL LETTER SIGN "RODERICKS"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S06-0098
Status: ISSUED
Valuation: \$2,100.00
Contractor Company:
Contractor Name: Y2K SIGNS

Date: **9/15/2003**
Permit Type: **PLUM**
Description: **fire suppression hood**

Permit Description: **Plumbing**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: P03-0206
Status:
Valuation: \$0.00
Contractor Company:
Contractor Name: FLETCHER'S FIRE PROTECTION

14141 RED HILL AVE

Date: **10/15/2003**
Permit Type: **BLDG**
Description: **T/O FLAT ROOF AND REPLACE BUR FLAT ROOF ONLY #14141-14165**

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B03-0553
Status: FINALED
Valuation: \$20,000.00
Contractor Company:
Contractor Name: WESTERN ROOFING COMPANY

ADJOINING PROPERTY FINDINGS

Date: **1/6/2003**
Permit Type: **COMBO**
Description: **BAKERY/RESTAURANT EXPANSION**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C03-0006
Status: EXPIRED
Valuation: \$280,104.00
Contractor Company:
Contractor Name:

14145 RED HILL AVE

Date: **6/12/2006**
Permit Type: **COMBO**
Description: **REVISION C05-0387 - RESTAURANT T.I. 1200-SQ**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C06-0542
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **9/20/2005**
Permit Type: **COMBO**
Description: **HOOD & DUCT SYSTEM**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C05-0561
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name: UNITED FIRE SERVICES INC

ADJOINING PROPERTY FINDINGS

Date: **6/29/2005**
Permit Type: **COMBO**
Description: **RESTAURANT T.I. 1200-SQ**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C05-0387
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

14160 RED HILL AVE

Date: **8/27/2012**
Permit Type: **BLDG**
Description:

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B2012-0154
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

Date: **3/7/2011**
Permit Type: **BLDG**
Description: **REROOF; TEAR OFF CAPROOF, INSTALL ROSIN BASE 2 PLY CAP AND NEW METAL BUR, CLASS A, COOL RO**

Permit Description: **Building**
Work Class: Multi Family Dwelling Roof
Proposed Use:
Permit Number: B2011-0052
Status: FINALED
Valuation: \$10,512.00
Contractor Company:
Contractor Name: SANDKAMP ROOFING

Date: **7/18/2005**
Permit Type: **BLDG**
Description: **REROOF; REMOVE EXISTING, INSTALL NEW UNDERLAYMENT AND BUR. UNIT #1 13-124 ONLY.**

Permit Description: **Building**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: B05-0267
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name: RITE - WAY ROOF CORPORATION

ADJOINING PROPERTY FINDINGS

Date: **8/20/2004**
Permit Type: **BLDG**
Description: **VEHICLE ACCIDENT: REPAIR FRAMING, DRYWALL & STUCCO ONLY, SUBJECT TO FIELD INSPECTION.**

Permit Description: **Building**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: B04-0318
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: B E J OF COTO INC DBA PAUL DAVIS SYSTEMS O

14161 RED HILL AVE

Date: **8/14/2001**
Permit Type: **BLDG**
Description: **FLOORING REPAIR AT WATER TANK ROOM**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B01-0375
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

14171 RED HILL AVE

Date: **1/8/2013**
Permit Type: **BLDG**
Description:

Permit Description: **Building**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: B2013-0005
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

Date: **9/26/2001**
Permit Type: **BLDG**
Description: **FIRE SUPPRESION SYSTEM**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B01-0439
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: FONTANA FIRE EQUIPMENT

Date: **8/6/2001**
Permit Type: **COMBO**
Description: **FIRE REVIEW FOR HOT SVC DELI IN MEAT DEPT-REF P/C C01-0195**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C01-0295
Status: WITHDRWN
Valuation: \$0.00
Contractor Company:
Contractor Name: STATER BROS MARKETS

ADJOINING PROPERTY FINDINGS

Date: **6/11/2001**
Permit Type: **BLDG**
Description: **FIRE ALARM**

Permit Description: **Building**
Work Class: Commercial Other
Proposed Use:
Permit Number: B01-0239
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: ALARMCO

Date: **5/17/2001**
Permit Type: **COMBO**
Description: **SUPERMARKET TI - STATER BROS.**

Permit Description: **Combination**
Work Class: Commercial Tenant Improvements
Proposed Use:
Permit Number: C01-0195
Status: FINALED
Valuation: \$5,305.00
Contractor Company:
Contractor Name: STATER BROS MARKETS

Date: **10/19/2000**
Permit Type: **ELEC**
Description: **ELECTRICAL FOR SIGN**

Permit Description: **Electrical**
Work Class: Commercial Other
Proposed Use:
Permit Number: E00-0471
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: SIGN AND VENTURES INC

ADJOINING PROPERTY FINDINGS

Date: **10/19/2000**
Permit Type: **SIGN**
Description: **WALL SIGN - STATE BROTHERS**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: SG00-0012
Status: FINALED
Valuation: \$13,000.00
Contractor Company:
Contractor Name: SIGN AND VENTURES INC

14201 RED HILL AVE

Date: **6/19/2006**
Permit Type: **BLDG**
Description: **PERMIT TO FINAL B03-0554, T/O FLAT ROOF & REPLACE BUR FLAT ROOF ONLY**

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B06-0288
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: WESTERN ROOFING COMPANY

Date: **10/15/2003**
Permit Type: **BLDG**
Description: **T/O FLAT ROOF AND REPLACE BUR FLAT ROOF ONLY #14201-14211**

Permit Description: **Building**
Work Class: Commercial Roof
Proposed Use:
Permit Number: B03-0554
Status: EXPIRED
Valuation: \$20,000.00
Contractor Company:
Contractor Name: WESTERN ROOFING COMPANY

ADJOINING PROPERTY FINDINGS

14207 RED HILL AVE

Date: **6/16/2010**
Permit Type: **PLUM**
Description:

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P10-0107
Status: APPLIED
Valuation: \$0.00
Contractor Company:
Contractor Name: UNITED FIRE & SAFETY COMPANY

Date: **3/25/2010**
Permit Type: **PLUM**
Description: **FIRE SUPPRESSION SYSTEM FOR HOOD AND DUCT (PHO BAC KY)**

Permit Description: **Plumbing**
Work Class: Commercial Other
Proposed Use:
Permit Number: P10-0049
Status: ISSUED
Valuation: \$2,800.00
Contractor Company:
Contractor Name: UNITED FIRE & SAFETY COMPANY

Date: **5/17/2006**
Permit Type: **COMBO**
Description: **T.I. 853-SQ, RESTAURANT**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C06-0477
Status: FINALED
Valuation: \$18,100.66
Contractor Company:
Contractor Name: S V P CONSTRUCTION

ADJOINING PROPERTY FINDINGS

14211 RED HILL AVE

Date: **9/29/2004**
Permit Type: **SIGN**
Description: **FACE CHANGE ONLY "PHO"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S04-0049
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

14215 RED HILL AVE

Date: **9/15/2008**
Permit Type: **SIGN**
Description: **SIGN FACE CHANGE "YEH JIN"**

Permit Description: **Sign**
Work Class: Sign
Proposed Use:
Permit Number: S08-0066
Status: ISSUED
Valuation: \$0.00
Contractor Company:
Contractor Name:

ADJOINING PROPERTY FINDINGS

UTT DR

14011 UTT DR

Date: **5/23/2007**
Permit Type: **MECH**
Description: **NEW A/C UNIT, CHANGE OUT FAU (HEATER).**

Permit Description: **Mechanical**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: M07-0029
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name:

14012 UTT DR

Date: **8/30/2010**
Permit Type: **BLDG**
Description: **REMOVE WOOD SIDING AND REPLACE WITH STUCCO IN FRONT & SIDE OF HOUSE**

Permit Description: **Building**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: B10-0132
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: OWNER

ADJOINING PROPERTY FINDINGS

Date: **10/6/2005**
Permit Type: **BLDG**
Description: **REMOVE ALL EXTERIOR WOOD SIDING, REPLACE WITH STUCCO**

Permit Description: **Building**
Work Class: Multi Family Dwelling Other
Proposed Use:
Permit Number: B05-0452
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name:

14031 UTT DR

Date: **12/27/2005**
Permit Type: **BLDG**
Description: **T/O ROOF, REPL W/COMP SHINGLE & TORCH DOWN ROOF SYSTEM**

Permit Description: **Building**
Work Class:
Proposed Use:
Permit Number: B05-0562
Status: FINALED
Valuation: \$4,750.00
Contractor Company:
Contractor Name: COAST ROOFING

ADJOINING PROPERTY FINDINGS

14101 UTT DR

Date: **12/1/2008**
Permit Type: **PLUM**
Description: **CHANGE OUT WATER HEATER, SAME LOCATION**

Permit Description: **Plumbing**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: P08-0218
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: ORANGE COUNTY SERVICES DBA:GEORGE BRAZIL

14102 UTT DR

Date: **10/10/2007**
Permit Type: **PLUM**
Description: **REPLACE WATER HEATER, SAME LOCATION**

Permit Description: **Plumbing**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: P07-0309
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: ALL STAR WATER HEATERS INC

ADJOINING PROPERTY FINDINGS

14111 UTT DR

Date: **8/23/2005**
Permit Type: **BLDG**
Description: **TEAR OFF OLD ROOF, INSTALL ASHHALT COMPOSITE TILE (2.45LB) ER-5546.**

Permit Description: **Building**
Work Class: Single Family Dwelling Roof
Proposed Use:
Permit Number: B05-0348
Status: FINALED
Valuation: \$7,250.00
Contractor Company:
Contractor Name:

14112 UTT DR

Date: **1/15/2009**
Permit Type: **COMBO**
Description: **FIRE DAMAGE REPAIR- FRAMING, ELECTRICAL, HEATING/AIR, DUCT WORK, DRYWALL, STUCCO**

Permit Description: **Combination**
Work Class:
Proposed Use:
Permit Number: C09-0017
Status: FINALED
Valuation: \$0.00
Contractor Company:
Contractor Name: SCMS INC

ADJOINING PROPERTY FINDINGS

Date: **6/15/2004**
Permit Type: **BLDG**
Description: **REROOF; T/O EXISTING, APPLY NEW UNDERLAY AND S TILE CLAY, US CLAY, 5.95#**

Permit Description: **Building**
Work Class: Single Family Dwelling Roof
Proposed Use:
Permit Number: B04-0208
Status: FINALED
Valuation: \$8,500.00
Contractor Company:
Contractor Name:

Date: **7/22/2002**
Permit Type: **PLUM**
Description: **c/o water heater**

Permit Description: **Plumbing**
Work Class: Single Family Dwelling Other
Proposed Use:
Permit Number: P02-0181
Status: EXPIRED
Valuation: \$0.00
Contractor Company:
Contractor Name: HAYES PLUMBING

GLOSSARY

General Building Department concepts

- **ICC:** The International Code Council. The governing body for the building/development codes used by all jurisdictions who've adopted the ICC guidelines. MOST of the US has done this. Canada, Mexico, and other countries use ICC codes books and guides as well. There are a few states who have added guidelines to the ICC codes to better fit their needs. For example, California has added seismic retrofit requirements for most commercial structures.
- **Building Department (Permitting Authority, Building Codes, Inspections Department, Building and Inspections):** This is the department in a jurisdiction where an owner or contractor goes to obtain permits and inspections for building, tearing down, remodeling, adding to, re-roofing, moving or otherwise making changes to any structure, Residential or Commercial.
- **Jurisdiction:** This is the geographic area representing the properties over which a Permitting Authority has responsibility.
- **GC:** General Contractor. Usually the primary contractor hired for any Residential or Commercial construction work.
- **Sub:** Subordinate contracting companies or subcontractors. Usually a "trades" contractor working for the GC. These contractors generally have an area of expertise in which they are licensed like Plumbing, Electrical, Heating and Air systems, Gas Systems, Pools etc. (called "trades").
- **Journeyman:** Sub contractors who have their own personal licenses in one or more trades and work for different contracting companies, wherever they are needed or there is work.
- **HVAC (Mechanical, Heating & Air companies):** HVAC = Heating, Ventilation, and Air Conditioning.
- **ELEC (Electrical, TempPole, TPole, TPower, Temporary Power, Panel, AMP Change, Power Release):** Electrical permits can be pulled for many reasons. The most common reason is to increase the AMPs of power in an electrical power panel. This requires a permit in almost every jurisdiction. Other commons reason for Electrical permits is to insert a temporary power pole at a new construction site. Construction requires electricity, and in a new development, power has yet to be run to the lot. The temporary power pole is usually the very first permit pulled for new development. The power is released to the home owner when construction is complete and this sometimes takes the form of a Power Release permit or inspection.
- **"Pull" a permit:** To obtain and pay for a building permit.
- **CBO:** Chief Building Official
- **Planning Department:** The department in the development process where the building /structural plans are reviewed for their completeness and compliance with building codes
- **Zoning Department:** The department in the development process where the site plans are reviewed for their compliance with the regulations associated with the zoning district in which they are situated.
- **Zoning District:** A pre-determined geographic boundary within a jurisdiction where certain types of structures are permitted / prohibited. Examples are Residential structure, Commercial/Retail structures, Industrial/Manufacturing structures etc. Each zoning district has regulations associated with it like the sizes of the lots, the density of the structures on the lots, the number of parking spaces required for certain types of structures on the lots etc.
- **PIN (TMS, GIS ID, Parcel#):** Property Identification Number and Tax Map System number.
- **State Card (Business license):** A license card issued to a contractor to conduct business.
- **Building Inspector (Inspector):** The inspector is a building department employee that inspects building construction for compliance to codes.
- **C.O.:** Certificate of Occupancy. This is the end of the construction process and designates that the owners now have permission to occupy a structure after its building is complete. Sometimes also referred to as a Certificate of Compliance.

GLOSSARY

Permit Content Definitions

- Permit Number: The alphanumerical designation assigned to a permit for tracking within the building department system. Sometimes the permit number gives clues to its role, e.g. a "PL" prefix may designate a plumbing permit.
- Description: A field on the permit form that allows the building department to give a brief description of the work being done. More often than not, this is the most important field for EP's to find clues to the prior use(s) of the property.
- Permit Type: Generally a brief designation of the type of job being done. For example BLDG-RES, BLDG-COM, ELEC, MECH etc.

Sample Building Permit Data

Date: Nov 09, 2000

Permit Type: Bldg -

New Permit Number: 101000000405

Status: Valuation: \$1,000,000.00

Contractor Company: OWNER-BUILDER

Contractor Name:

Description: New one store retail (SAV-ON) with drive-thru pharmacy. Certificate of Occupancy.

Exhibit 1-2

NA
Tustin, CA 92780

Inquiry Number: 4964215.5
June 14, 2017

The EDR-City Directory Image Report

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City Directory Images

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2013	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2008	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2003	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1999	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1992	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1985	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1980	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1975	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1972	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory

RECORD SOURCES

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FINDINGS

TARGET PROPERTY STREET

NA
Tustin, CA 92780

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
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NISSON RD

2013	pg A2	Cole Information Services
2008	pg A8	Cole Information Services
2003	pg A14	Cole Information Services
1999	pg A20	Cole Information Services
1995	pg A25	Cole Information Services
1992	pg A29	Cole Information Services
1985	pg A32	Haines Criss-Cross Directory
1985	pg A33	Haines Criss-Cross Directory
1980	pg A35	Haines Criss-Cross Directory
1980	pg A36	Haines Criss-Cross Directory
1975	pg A39	Haines Criss-Cross Directory
1975	pg A40	Haines Criss-Cross Directory
1972	pg A43	Haines Criss-Cross Directory
1972	pg A44	Haines Criss-Cross Directory

FINDINGS

CROSS STREETS

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
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RED HILL AVE

2013	pg. A6	Cole Information Services
2008	pg. A12	Cole Information Services
2003	pg. A17	Cole Information Services
1999	pg. A23	Cole Information Services
1995	pg. A27	Cole Information Services
1992	pg. A31	Cole Information Services
1985	pg. A34	Haines Criss-Cross Directory
1980	pg. A37	Haines Criss-Cross Directory
1980	pg. A38	Haines Criss-Cross Directory
1975	pg. A41	Haines Criss-Cross Directory
1975	pg. A42	Haines Criss-Cross Directory
1972	pg. A45	Haines Criss-Cross Directory

City Directory Images

NISSON RD 2013

1372	IRMA PEREZ
1412	AHIRA BURHANZI
	BRYAR DAVIES
	CASA CORTEZ APARTMENTS
	CLARENCE SHARP
	CONNIE RAMIREZ
	DAN REED
	EMILIO NAVARRO
	EVON RIOS
	FABIAN NGO
	JAE LEE
	NCKAYLA NORTHCOTT
	PEI WU
	RAUL MARIANO
	ROBERT VILLA
	SIMON CHINERYL
	STEVEN WILLIAM
	SYED AHAMED
	TARA TOD
	VAISHALEE PATEL
	VERONICA VICEDO
	YULIA OLIMPIADI
1431	THOMAS BOYLES
1433	JACKLYN SALENGA
1439	OCCUPANT UNKNOWN
1441	BALDOMERO GARCIA
1451	ESTER ALBA
	F ASIF
	FRANCISCO GAYDA
	LAWRENCE MARTIN
	LESLIE GARCIA
	MARCELA SANCHEZ
	SHIRLEY TARDIE
	TERESA LOPEZ
1471	ALS WOODCRAFT
1501	CAFE AUTO SPA
1602	ABDIRAHIM DIRIE
	ADAM HERRERA
	ADOLFO CALLE
	ALBERT NONIYEV
	ALEXANDER KLETSELMAN
	ALFONSO SANCHEZ
	ALFREDO CASTELLANOS
	ANA INTROSSI
	ANTONIO NUNEZ
	ARMENIA DELGADO
	AUGUSTINE GOMEZ
	BAY NGUYEN
	BERTHA MOTA
	BRENDA PRADO

NISSON RD 2013 (Cont'd)

1602 BRENDA SERRANO
 CANDELARIO PICENO
 CARLOS CASTANEDA
 CECILIA FLORES
 CORA RODRIGUEZ
 CYNTHIA LOPEZ
 DAVID FLORES
 DIAHANN INTROSSI
 DOKHEE LEE
 EDGAR PONCE
 EFREN ROJANO
 ELIZABETH GARCIA
 ELVIRA CRUZ
 ENRIQUE TORRES
 ERIKA MORENO
 EVERARDO MANZO
 GAIL NEILAN
 GALILEA AYALA
 GERARDO GONZALES
 GURBINDER SINGH
 HELEN REECE
 IGNACIO CONTRERAS
 JANET INOCENCIO
 JANETTE ANGELES
 JAVIER MUNOZ
 JEFFREY HAMPTON
 JENNIE PARKER
 JENNIFER HECKENLIVELY
 JEROME CHILDS
 JESSICA KINGARY
 JESUS ACOSTA
 JESUS FRANCO
 JORGE CONTRERAS
 JORGE MORALES
 JOSE CASTRO
 JUSTINA ULLOA
 KADANA BRYANT
 KAREN MAZE
 KAREN MIRANDA
 KRISTY LY
 LAMONT LYNCH
 LAURA LOA
 LEILANI JAUREGUI
 LEONOR BARTOLO
 LUIS MARTINEZ
 LY PHAM
 MAHBUBA HASAN
 MARGARITA ZAKHRABOVA
 MARIA GUZMAN
 MARIA TOMAS

NISSON RD 2013 (Cont'd)

1602	MARICELA HUANOSTO MARIE PULU MARIO ANGELES MARTHA ARREOLA MARY NEWSON MAURICIO ALVARENGA MELISSA GARCIA MIGUEL GAZANO MORALES ELOISA MUHAMMAD ALI MUNAWAR RANGOONWALA NICHOLAS MASTERS NICOLAS ROJAS NICOLE MARANI ORANGE COUNTY ROOTER SERVICES PATRICIA STRAIN PATTI CULBERSON PLACIDA QUEMUEL RAMA AHMAD RANDY HOFFARTH RAVINA BUSH RAYMOND OCAMPO RICHARD CONE ROSA JAIMES ROSAURA SANTOYA ROSIE SANTOYO RUBEN RODILLO RUTH TREVINO SANDRA MARTINEZ SANDRA VARQUERO SANG NAM SHERRY WORTHMAN STANFORD COURT ESTATES HOMEOWNERS AS SUKHDEV SINGH UZMA BASHIR VALDEMAR ARTEAGA VANESSA MURILLO VLADIMIR OGANESOV WESTCHESTER PARK WILFREDO CHIHUAN ZINAIDA KHUDADATOVA
1620	VERONICA MALDONADO
1702	BLUE BUOY SWIM SCHOOL
1712	EDDIE GARCIA EMILY SAENZ STACIE TIBBETTS
1714	FREDRICK DENNIS GUS ALAGNA JUSTIN BARNES TONI SIMMONS

Target Street

Cross Street

Source

✓

-

Cole Information Services

NISSON RD 2013 (Cont'd)

1716 BRUNO LEGUIZA
MAARIT NORDMAN
1718 DANIEL GALVEZ
NARBY ESCOBAR
1720 JENNIFER DUIR
JULISSA MARTINEZ

RED HILL AVE

2013

13850 ONE DOLLAR WORLD
13852 BIG LOTS
13872 RED HILL MOBIL
13891 SAMS SHELL
SHELL SERVICE STN DLRS
TRANSMISSION & CLUTCH EXPRESS
TUSTIN TEST ONLY & SMOG CHECK
13922 WENDYS
14042 TACO BELL
14081 RED HILL UNION
14082 CHEVRON
14102 PAC N SHIP
14108 PCS UNLIMITED
14122 BELLA DENTAL GROUP
EXPEDIENT LAW
SOUTH COUNTY CARE
14131 TRADITIONS
14141 EL BUEN SABOR AMERICAN & MEXICAN FOO
14147 VIP NAILS
14151 TRANSPACIFIC CURRENCY
14160 ABIGAIL PLASCENCIA
ALEJANDRO ROSALES
AMELIA MACEDO
ANN HARDING
ARTHUR GONZALES
ARUN SUBRAMANIAN
AVANI MULCHANDANI
BRENDA FINOCCHIO
CARLOS MORALES
CASEY MCDONALD
CATHY MERRELL
CHRISTIAN ROESCHMANN
CHRISTIAN SANCHEZ
CONNIE LOPEZ
DAVID SOUZA
FRANCISCO HERNANDEZ
GAETANO SALOMONE
GEORGE BORDEN
HEIDY RAMIREZ
JACK SCHMITT
JEFFREY PAGSISHAN
JESSE BETHUNE
JOHN TORREY
KARL NEUMANN
KETAN MODHA
KRISTOPHER VANHOUTEN
LEAH CABILDO
LEONARD OBAYA
LISSETE BARRIGA
LIVIER ELGUEZABAL

RED HILL AVE

2013

(Cont'd)

14160 MADALINA BALOS
MAHMOOD PANDI
MANI BEHIMEHR
MARI BANATICLA
MICHAEL BETTERS
MOHAMMED KALIBULLA
PAOLA FERNANDEZ
PARVIZ GHAFARIFAR
PAT STEPHENS
PEREZ GARCIA
PHILLIP SUMMERFIELD
PINWOOD APARTMENTS
PRASAD RAGHAUVULU
PRAVEEN NARAYANAN
REBECCA INGERSOLL
REZA MALMIRIAN
RICHARD TABOR
ROY STERLING
RUPAL PANCHAL
SAMUEL MEJIA
SUPREET BAJWA
TAJI LEWIS
TAREK SAZEL
THOMAS RIVAS
TODD KURIHARA
V NGUYEN
YOKO TAKEDA
YOLANDA ESPINOZA

NISSON RD 2008

1372	SANDRA HERNANDEZ
1412	CASA CORTEZ APARTMENTS CLARENCE SHARP DAVID TROTTER DIANE GOMEZ EUGENIO RAMOS GOMATHY KANAGARAJ JESSICA JOHNSON JOSEPH MOKRACEK K ROBERTS MARTHA GOMEZ MIGUEL BARBOZA MOWICKI JOANNA MUWAFFAQ ALGHOULI NORIKA IIJIMA PACIFIC COAST MANAGEMENT PEDRO REYES RAJESH PATEL ROBERT ROBERTSON ROXANNE MCCANN SAQIB WARSI STEVE MURO STEVE TRINH STEVEN WILLIAM WANDA BURNELL WILFREDO PENATE
1431	THOMAS BOYLES
1433	JACKLYN SALENGA
1439	EMMANUEL MARIANO NISSON APARTMENTS
1441	ROSA MARTINEZ
1451	DUC NGUYEN F ASIF IRMA CORREA KUNDAN CHHABRA LIZZIE GAYDA MAHESH PARHAR MARTHA RODRIGUEZ PHUC HO RAUL CRUZ SHIRLEY TARDIE TERESA LOPEZ TERESA SOMERS
1471	ALS WOODCRAFT INC BILLY F MATHIS INC
1501	TEAM PARKER AUTO SPA
1602	A JEPHI ABEL CASTILLO ADOLFO CALLE ALBINO MARTINEZ

NISSON RD 2008 (Cont'd)

1602 ALEXANDER KLETSELMAN
 ALLIMPEX
 ANDREA CHINCHILLA
 ANITA SMITH
 APPLE RECI
 ARMENIA DELGADO
 ARTHUR COLLINS
 ARTUR ZAKARYAN
 ASHWANI KUMAR
 ASHWANI VERMA
 AUGUSTINE GOMEZ
 BETTYE PARKER
 BONNIE PERKINS
 BRENDA BALTAZAR
 BRIDGET GUY
 CANDELARIO PICENO
 CAROL HART
 CHANG BAIK
 CHRIS ESSOE
 CORA BRITO
 CORA RODRIGUEZ
 DEBRA CHAPMAN
 DENISE FRANCO
 DOKHEE LEE
 E DELGADO
 EA & MANAGEMENT
 EDUARD NONIYEV
 EMETERIO PRADO
 ESTANISLAO LOPEZ
 EVERARDO MANZO
 FRANCISCO CLAUDIO
 GAIL NEILAN
 GALILEA AYALA
 GAVINO PEREZ
 GEINER BARQUERO
 GRACIELA CASTRO
 GUSTAVO GONZALEZ
 HASINA YASMIN
 HENRY STRAUGHTER
 HERMELINDA AGUILAR
 HUSBAND & WIFE BEST CLEANING SERVICE
 ISRAEL YANEZ
 JAVIER MUNOZ
 JELINDA BLOSYAN
 JIM CROWELL
 JOEL BOJORQUEZ
 JORDAN JARRETT
 JUAN DURAN
 JUAN HERRERA
 KEVIN PELLECCER

NISSON RD 2008 (Cont'd)

1602 KIDS KORNER FAMILY DAYCARE
 KRISTY LY
 LACY BOYD
 LAMONT LYNCH
 LAURA BAKER
 LEILANI JAUREGUI
 LOREN KINNEY
 LORENA DELGADO
 LUIS GALVAN
 MAKSIM KHANUKAYEV
 MANUEL QUEMUEL
 MARGARITA LEON
 MARGO SIUDZINSKI
 MARIA CERVANTES
 MARIA GALINDO
 MARIA GUZMAN
 MARIA HERNANDEZ
 MARIA HUANOSTO
 MARIAN COLEMAN
 MARIANO ROJANO
 MARK MARKOSSIAN
 MARLA DESHAYES
 MARTHA ARREOLA
 MARY NEWSON
 MARY PENA
 MELLESSA TAYLOR
 MICHAEL RETA
 MICHAIL BOROZIN
 MIKHAIL ABRAMOV
 MONICA GOMEZ
 MUSSA HASHEMEE
 NAZIRA ISKANDAROVA
 NIKOLAY AMELOV
 OLGA ROYZMAN
 ORANGE GARDENS APARTMENTS
 PATRICIA GOMEZ
 PATRICIA STRAIN
 PATTI CULBERSON
 PILAR MAROJICA
 R LEE
 RAJ CHOUDHARI
 RAMON ALTAMIRANO
 RAPHAEL GARCIA
 RAUL VELASCO
 RAYMUNDO AMIROLA
 RENEE BARNETT
 RICK E ARNOLD TRANSPORTATION
 ROBERT SAMARCHYANTS
 ROBERTO CORTEZ
 ROBERTO JONES

NISSON RD 2008 (Cont'd)

1602 ROSIE CERNA
ROXANNA MENDOZA
SADIQUEH BAHRAMI
SAINT JUDE HOSPITAL INC
SANDRA RUIZ
SARA NORANI
SHARLA CAGLE
SHAUNNA STOKES
SHERRY WORTHMAN
SHINJI YAMASHITA
SHIRLEY HAMPTON
STUDIO H2
SUSAN WELZ
TAHZAH SYSTEM SOLUTIONS
TAWATCHAI LORTEERAPONG
TOMASA CHAVEZ
TRANNIE HILL
VADIM SHTOFENMAKHER
VI CHU
VLADIMIR MALUMTS
VLADIMIR OGANESOV
Wafa NAJJARINE
WEST CHESTER PARK
WILFREDO CHIHUAN
YAVUZ AKBULUT
YURIY ZAKHRABOV
1702 BLUE BUOY SWIM SCHOOL INC
1712 BENJAMIN SANCHEZ
JORGE SANCHEZ
PAULA PENA
SANTIAGO AMEZCUA
1714 BILL VANDORN
1716 ARMANDO RAMIREZ
ERIC DEWEY
HILARIO GONZALEZ
JOEL RUBIO
MARIA YVARRA
1718 ALFREDO CASTELLANOS
CARLOS CALDERON
DANIEL GOMEZ
FRANK NEWMAN
KRISTIN BEREKI
1720 JENNIFER DUIR

RED HILL AVE

2008

13852 BIG A DRUG
 13871 RED HILL CAR WASH
 13872 ABC MOBIL TEST ONLY CENTER
 RED HILL MOBIL
 13891 TUSTIN TEST ONLY & SMOG CHECK
 13922 WENDYS OLD FASHIONED HAMBURGERS
 14042 TACO BELL
 14081 REDHILL UNOCAL
 14102 COLOR & COPY
 14122 BELLA DENTAL GROUP
 GABRIELLES SKIN CARE
 MAYS SKIN CARE
 SOLEYMANI PEIMAN DDS
 14131 RODERICKS
 14141 EL BUEN SBOR AMERCN MEXCN F
 14145 KABOB N CURRY
 14147 VIP NAILS
 14151 TRANSPACIFIC CURRENCY SERVICES INC
 14160 ALEX HANSEN
 AMABLE PUNZALAN
 AMRITBIR BEHL
 ANIL MOTWANI
 ARLENE ROSANO
 ARTHUR RUBIN
 BALAMURUGAN BALAKRISHNAN
 BALAMURURGAN BALAKRISHNAN
 BOB STONGE
 BONITA MARKWICK
 CHING MAO
 CHIRAYU SHAH
 CORNERFREAK PRODUCTIONS
 DARRON BERGDORF
 DAVID HARDJOSOESILO
 DAVID SOUZA
 DESTAFFION BRUNSON
 DON CHO
 EUN WHON
 EVANGELINE ABOROT
 FIORELA LOPEZ
 GARY VEEH
 GEORGE BORDEN
 GILBERT CACAYAN
 HEIDY RAMIREZ
 HIEN TRAN
 JACK SCHMITT
 JARREL TODD
 JOEL BRODSKY
 JOEL CORTES
 JOSEPH DIIANNI
 JULIE GARCIA

RED HILL AVE

2008

(Cont'd)

14160 KHAWAR RANA
KIM TRULL
KRISHNA YALAVARTHI
LARRY FISTER
LYNN ENTERPRISES INC
MAHMOOD PANDI
MANOUCHEHR SHAKIB
MARIA PADILLA
MEADOW GREEN
MICHAEL HEIN
MICHAEL KRUGER
MICHAEL MOLINA
MOHAMMAD KHAN
MURTADA PIGANI
NATALIA LOPEZ
NIMADE NUGRAHINI
PAPAIAH KUMMARI
PARVIZ GHAFARIFAR
PINWOOD APARTMENTS
QUENTIN REZIN
RANDOLPH DURHAM
RAUL TOBAR
RICHARD NEUMANN
RICHARD TABOR
ROBBIE CHANDLER
ROBERT MORRIS
ROY E DALY & CO
ROY STERLING
STEVE HAUSER
STEVE TORREY
SUZAN KRUSE
TAJI LEWIS
TERRY MADDEN
USAMA SHAHID
VAISHALI PATEL
VICTOR CALVA
WERNER ROESCHMANN
WILLIAM CROWELL
YOKO TAKEDA
YOLANDA GUTIERREZ
ZHONG ZHENG

NISSON RD 2003

1362	ELIA GONZALEZ
1372	OCCUPANT UNKNOWN
1412	ALFREDO HERNANDEZ
	BRENDA JONES
	CASA CORTEZ APARTMENTS
	CATHERINE KUNEWA
	CHRISTIAN NAVARRO
	CLARENCE SHARP
	DIANE GOMEZ
	DIANE VANHECKE
	EUGENIO RAMOS
	GERARDO MOLINA
	JOHN HOLLINGSWORTH
	JOSE VELA
	JOSEPH MOKRACEK
	LA FASHION DISCOUNT INC
	LARRY SCHLECT
	LINA KHUDADATOVA
	LUDY LUCAS
	MERCEDES CHICAS
	NINA GROVER
	NORA DAVILA
	OLGA KHANUKAYEV
	OSCAR ALVAREZ
	RAUL MEDINA
	RICARDO SANCHEZ
	SENIORS FIRST INSURANCE PLNR
	STEVE MURO
	TAWATCHAI LORTEERAPONG
	WALTER FLORES
	WANDA SCOTT
	YULIA OLIMPIADI
1431	OCCUPANT UNKNOWN
1433	OCCUPANT UNKNOWN
1439	DEBORAH STEVENS
	NISSON APARTMENTS
1441	KENNETH CHANDLER
1451	JACQUELINE SALENGA
	JUANA VARELA
	MARIA OCHOA
	PRISCILLA MARTINEZ
	RAUL CRUZ
	TERESA LOPEZ
1471	ALS WOODCRAFT
1501	CAFE AUTO SPA
	EUGENE TUTT
1602	AGUSTIN RUELAS
	ALEKSANDRA NISANOVA
	ARGENTINA ROMERO
	ARTUR ZAKARYAN

NISSON RD 2003 (Cont'd)

1602 BRIAN FREEMAN
BRIDGET GUY
CARMELITA CHAVEZ
CHANG BAIK
CONSTANTIN OPRESCU
CORA BRITO
DAVID KORALOFF
DAVID MARTINEZ
DELFINA VIVAS
DIANE GRAHAM
DOLORES RIVAS
EDUARDO RAYO
EDWARD KUKLINSKI
EFREN MARTINEZ
ELISA HUNG
FELIBERTO MONTANEZ
GEORGE YELCHIBEKOV
GRIGORY ROYZMAN
H MOUSSA
HENRY STRAUGHTER
HUSBAND & WIFE THE BEST CLEA
JAVIER MUNOZ
JEANNIE POPEJOY
JEROME MILLS
JEROME RUETZ
JULIA ALVARENGA
KHALID KHAN
KYONG BARGER
KYUN CHUNG
LAWRENCE GIBSON
LOREN KINNEY
LUCIA ROBLES
LUZMARINA ESQUER
MARGARITA LEON
MARGARITA ZAKHRABOVA
MARTHA ARREOLA
MARY NEWSON
MICHAIL BOROZIN
MICHELLE MAIR
MIKHAIL ABRAMOV
MIKHAIL NONIYEV
MOLLIE NILSON
NAAMON REECE
NATHAN PAINE
NIDIA LOPEZ
NIKOLAY AMELOV
NORMA RODRIGUEZ
REBECCA TREVINO
RICARDO GONZALEZ
ROBERT SAMARCHYANTS

NISSON RD 2003 (Cont'd)

1602 ROSIE CERNA
RUBEN YELCHIBEKOV
SANDRA BARQUERO
SANDRA CHRISTENSEN
SANDRA RUIZ
SANDRA WHITT
SHARLA CAGLE
SHERRY WORTHMAN
SOFIA KLETSELMAN
SOLEDAD CARINGAL
STEPHEN RETA
SUSAN WELZ
TAE LEE
TAWATCHAI LORTEERAPONG
THE BEST CLEANING SERVICE
THIEN NGUYEN
TRANNIE HILL
VIRGINIA YANEZ
VLADIMIR LOZANO
VLADIMIR MALUMTS
VLADIMIR OGANESOV
WESTCHESTER PARK
X JING
1702 BLUE BUOY SWIM SCHOOL
1712 ARMIDA CAMACHO
CORONA DIAZ
MARIA RUIZ
1716 ARMANDO RAMIREZ
HILARIO GONZALEZ
1718 CARLOS CALDERON
JESSE SOTO
SHIRLEY LUGO
1720 ANGELICA TORRES
AVA FOKKEN
ISIDRO QUIROGA
MARIA AGUILAR

RED HILL AVE

2003

13848 ARMY NAVY SURPLUS OF TUSTIN
 OCCUPANT UNKNOWN
 TUSTIN ARMY NAVY
 TUSTIN MILITARY SURPLUS
 13850 OCCUPANT UNKNOWN
 ONE DOLLAR WORLD
 13852 DRUG EMPORIUM
 13871 GRIGOR TEROGANESIAN
 RED HILL CAR WASH
 13872 CALVETTI INC
 OCCUPANT UNKNOWN
 RED HILL MOBIL
 13891 OCCUPANT UNKNOWN
 SAMS SHELL
 TUSTIN TEST ONLY & SMOG CHECK
 13922 WENDYS OLD FASHIONED HMBRGR
 14042 OCCUPANT UNKNOWN
 TACO BELL
 14081 REDHILL UNION 76
 REDHILL UNOCAL
 14082 JOHNS CHEVRON
 14090 CIRCLE K FOOD STORE
 REDHILL PLAZA
 14102 BEST CLEANER & SHOES REPAIR
 YOUNG RUDELSON
 14108 OCCUPANT UNKNOWN
 14122 BAQUERO ELVIS DDS
 REDHILL DENTAL CARE
 SONIA DEZHAM
 14131 BOURBON STREET
 14141 EL BUEN SABOR AMRCN & MXCN FOO
 EL BUEN SABOR RSTRNT & BAKER
 MARIO GARCIA
 14143 ONDA MUSICAL
 14145 IRON AGE CORP
 IRON AGE FOOTWEAR CTR
 OCCUPANT UNKNOWN
 14147 VIP NAILS
 14151 LAWERENCE OBOYLE
 TCS CHECK CASHING
 TRANSPACIFIC CURRENCY SERVICES
 14160 ALBERTO MARTINEZ
 ALEXANDER OPRESCU
 AMABLE PUNZALAN
 ANGELA BEARDEN
 ASIF KHAN
 AZUSASOFT
 CARL FELLER
 CATHERINE HARDJOSOESILO
 CHRISTINE MILLER

RED HILL AVE

2003

(Cont'd)

14160 CLARKE BALVANZ
CORNERFREAK PRODUCTIONS
CRAIG CARSON
DARRON BERGDORF
ERIC MURDOCH
ESMERALDA GOMEZ
EZEQUIEL BARCENA
G BORDEN
GARY VEEH
GORDON SPRAGUE
HIEN TRAN
J JALANDONI
JACK SCHMITT
JC INDUSTRIES
JORGE HERNANDEZ
JORGE RUBIO
JOSE GUILLEN
JULIA MICHALSKA
JULIO BARTON
JUSTIN BENEDICT
K NELSON
K VAN
KENNETH COLOCADO
KHAWAR RANA
KIM VANHOUTEN
LAWRENCE MCCOY
LISA GARDNER
MAHESH SRIRAMULU
MANISH KUMAR
MANUEL RODRIGUEZ
MARIA DELGADO
MARIA GARCIA
MEENA MOTWANE
MEGUMI RIGGIO
MELANIE HARTMAN
MICHAEL ROHALL
MOHAMMAD KHAN
NANCY TAKAKI
NANDANA POTLURI
NATALIA LOPEZ
NICOLE FLOYD
PANTEA GOLZARI
PHYLIS PHELPS
PRAVEEN BANTWAL
R DURHAM
RICHARD JENNINGS
RICHELLE RAMIREZ
ROBBIE CHANDLER
ROGER DEMINNA
RONALD MOORE

RED HILL AVE

2003

(Cont'd)

14160 ROY STERLING
RYAN PEARSE
S HOUSE
SHAHIN ZAVAREGH
SHUBHO GHOSH
STEPHANIE DEJOHN
STEPHANIE MCNERNEY
STEVE TORREY
T HUANG
T WEBB
THANES PUTTHIPORN
THI VANKIEU-ANH
TODD KURIHARA
VENKATA MANGALAMPALLI
VINAY INDRAGANTI
WALTER TANG
WILLIAM HARGROVE
YOKO TAKEDA

NISSON RD 1999

1372	IRMA CORREA
1412	ANN DEDE
	BRIAN WOLSLAGEL
	CASA CORTEZ APARTMENTS
	DAVID TROTTER
	DIANE GOMEZ
	EUGENIO RAMOS
	JESSICA JOHNSON
	JONATHAN AVILA
	MARIO OCEGUEDA
	MUWAFFAQ ALGHOULI
	PEDRO REYES
	PEI WU
	PIEDAD MURO
	RAJESH PATEL
	STEVE TRINH
	TARRIQ BURHANZAI
	V CAMPOS
	WANDA BURNELL
1431	THOMAS BOYLES
1439	NISSON APARTMENTS
	OCCUPANT UNKNOWN
1451	EMILIO HARO
	F ASIF
	PHUC HO
	R HAWKS
	SHIRLEY TARDIE
	TERESA LOPEZ
1471	ALS WOODCRAFT
1501	CAFE AUTO SPA
1602	A JEPHI
	ALEJANDRO ARTEAGA
	ALEJANDRO DIAZ
	ALEXANDER KLETSELMAN
	APPLE RECI
	ARMENIA DELGADO
	ARTHUR COLLINS
	ASHWANI KUMAR
	ASHWANI VERMA
	AUGUSTINE GOMEZ
	BETTYE PARKER
	BONNIE PERKINS
	CANDELARIO PICENO
	CAROL HART
	CHRIS ESSOE
	D TUGGLE
	DENISE FRANCO
	DOKHEE LEE
	E DELGADO
	EDITH ZAMORA

NISSON RD

1999

(Cont'd)

1602 EDUARD NONIYEV
 EMETERIO PRADO
 ESTANISLAO LOPEZ
 FAIM SOLOS
 FAIRFIELD RESIDENTIAL LLC
 FRANCISCO CLAUDIO
 GAIL NEILAN
 GALILEA AYALA
 GAVINO PEREZ
 GRIGORY ROYZMAN
 GUADALUPE TUPAYACHE
 GUSTAVO GONZALEZ
 HASINA YASMIN
 HELEN REECE
 HIEU LY
 ISRAEL YANEZ
 JAMES PERRY
 JAVIER MUNOZ
 JELINDA BLOSYAN
 JESSICA CMELA
 JESSICA KINGARY
 JORGE CONTRERAS
 JUAN DURAN
 JUAN HERRERA
 JUDY CAMARENA
 LAMONT LYNCH
 LEILANI JAUREGUI
 LENNIS CUNNINGHAM
 LOREN KINNEY
 LORENA DELGADO
 MAKSIM KHANUKAYEV
 MARGARITA ZAKHRABOVA
 MARGO SIUDZINSKI
 MARIA GODINEZ
 MARIA GUZMAN
 MARIA HERNANDEZ
 MARIA HUANOSTO
 MARLA DESHAYES
 MARTHA ARREOLA
 MARY NEWSON
 MARY PENA
 MELLESSA TAYLOR
 MICHAIL BOROZIN
 NAZIRA ISKANDAROVA
 ORANGE GARDENS APARTMENTS
 PATRICIA GOMEZ
 PATRICIA STRAIN
 PATTI CULBERSON
 RAUL VELASCO
 RINA CERNA

NISSON RD 1999 (Cont'd)

1602 ROZITA TAMKHISA
S HAMPTON
SAMUEL KOH
SANDRA RUIZ
SHAUNNA STOKES
SHIRLEY HAMPTON
SOLEDAD CARINGAL
TAWATCHAI LORTEERAPONG
TRANNIE HILL
URSULA VALLEJO
V MALUMTS
VADIM SHTOFENMAKHER
VALDEMAR ARTEAGA
VERNICE HARPER
VICTORIA UNANOVA
VLADIMIR OGANESOV
YOLANDA GUILLEN
ZOILA ANGELES
1702 BLUE BUOY SWIM SCHOOL
1712 OCCUPANT UNKNOWN
SANTIAGO AMEZCUA
STACIE TIBBETTS
1714 BILL VANDORN
1716 ERIC DEWEY
JOEL RUBIO
1718 FRANK NEWMAN
1720 DANIEL HALL
GABRIEL TARULA
JENNIFER DUJIR
MIGUEL MARTIN

RED HILL AVE 1999

13848 ARMY NAVY SURPLUS OF TUSTIN
 TUSTIN MILITARY SURPLUS
 13850 ONE DOLLAR WORLD
 13852 DRUG EMPORIUM TUSTIN
 13871 RED HILL CAR WASH
 13872 MOBIL SERVICE STATION DEALERS
 RED HILL MOBIL SERVICE
 13891 SAMS SHELL
 SHELL SERVICE STN DLRS
 14042 TACO BELL
 14081 REDHILL UNOCAL
 14082 JOHNS EXXON & TOWING
 14090 CIRCLE K FOOD STORE
 14102 ABIDE SHOE REPAIR
 BEST CLEANER & SHOES REPAIR
 14108 TUSTIN ONE HOUR PHOTO
 14141 EL BUEN SABOR AMERICAN & MEXICAN FOOD & BAKERY
 14143 ARGON JIM PHOTOGRAPHY
 CEMIL ARGON PHOTOGRAPHY
 GARDEN PARTY PHOTOGRAPHY
 STUDIO 14
 14145 AM MEETINGS & TRAVEL PRODUCTIONS
 ANCIENT MARINER TRAVEL CARLSON WAGONLIT TRAVEL
 CARLSON WAGONLIT TRAVEL
 14147 VIP NAILS
 14151 TCS CHECK CASHING
 TRANSPACIFIC CURRENCY SERVICES
 14160 ALEX HANSEN
 AMABLE PUNZALAN
 AMRITBIR BEHL
 ARTHUR RUBIN
 AUDREY ROCHE
 BEATRIZ KNIGHT
 CRAIG CARSON
 DARRON BERGDORF
 DAVID SOUZA
 FIORELA LOPEZ
 GEORGE BORDEN
 HEATHER LONG
 HIEN TRAN
 JACK SCHMITT
 JARREL TODD
 JASON LEE
 JOEL BRODSKY
 JOEL CORTES
 KELLI PICKREL
 KHAWAR RANA
 KRISHNA YALAVARTHI
 KRISTEN NICHOLS
 KRISTOPHER VANHOUTEN

RED HILL AVE

1999

(Cont'd)

14160 LARRY FISTER
LIVIER ELGUEZABAL
MAHMOOD PANDI
MANOUCHEHR SHAKIB
MARINA BEDIA
MEADOW GREEN
MEGUMI RIGGIO
MICHAEL BETTERS
MICHAEL HEIN
MICHAEL KRUGER
MOHAMMAD KHAN
NATALIA LOPEZ
PAPAI AH KUMMAN
PARVIZ GHAFARIFAR
PEDRO HERRERA
PINWOOD APARTMENTS
QUENTIN REZIN
RICHARD NEUMANN
ROBERT COX
ROY STERLING
STEVE TORREY
STEVEN WHEELER
SUZAN KRUSE
TAJI LEWIS
THOMAS ROBERTS
USAMA SHAHID
YOKO TAKEDA
ZHONG ZHENG



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NISSON RD 1995

1362 OCCUPANT UNKNOWNN
 1412 ARCHIBEQUE, CAREN J
 BHUYIAN, MOHMMAD A
 CASA CORTEZ APARTMENTS
 FEDJE, ANDRUS
 KIRKPATRICK, JEANNE P
 LEWIS, S
 MOKRACEK, JOSEPH
 MONGE, EMMA
 PALMA, WILLIAM
 1422 OCCUPANT UNKNOWNN
 1431 DOBYNS, BRAD
 1439 HUFF, MARK S
 1441 OCCUPANT UNKNOWNN
 1451 CORY, THELMA
 GORDON, A
 HUIH, CASEY
 LOPEZ, TERESA
 NEGRETE, ANA
 NISSON APARTMENTS
 SKOWRON, STEVEN
 1471 ALS WOODCRAFT
 1501 CAFE AUTO SPA
 1602 ADAMSON, DAVID S
 AMELOV, NIKOLAY
 ARNOLD, T
 CALDERON, MELA V
 DAVIS, G A
 DENNIS, LILLIAN R
 EVERLY, D
 FORD, SONIA
 FORREST, DORIS S
 GUNDERSON, B
 GUTIERREZ, ALFONSO
 HAMPTON, S A
 HILER, TED
 HILL, TRANNIE
 HUROWITZ, HARRY
 KEEGAN, E F
 KOZLOVA, LARISA
 KUKLINSKI, EDWARD
 MAIN, PAUL
 MARTYNOVA, MARINA
 OPRESCU, CONSTAN
 OWENS, RASHANA J
 PETROSIANTS, ALEKSEY
 PIPPEN, A T
 REECE, H
 REISSMUELLER, MAX
 REYNOLDS, JOANN

NISSON RD 1995 (Cont'd)

- 1602 RIVAS, GUADALU
- ROSADO, FRANCES
- ROYZMAN, GRIGORY
- SAMARCHYANTS, ROBERT
- SAMARCHYANTS, SERGEY
- SANCHEZ, VINCE
- SHIKLES, STEVEN
- SHULDINER, F
- SILVERMAN, Z
- SNYDER, DONNA S
- STONE, E L
- STORMS, STEVEN
- TESSERS, LISA
- TETREAULT, L
- THOMAS, SONIA
- VALENCIA, J D
- VARTANOV, VAGIF V
- WORTHMAN, SHERRY
- 1702 BLUE BUOY SWIM SCHOOL
- 1716 GALLARDO, JUAN L
- 1718 DUCKLINSKY, ROBIN
- PERALES, QUEZADA L
- 1720 VARELA, CRUZITA

RED HILL AVE

1995

13848 TUSTIN MILITARY SURPLUS
13852 DRUG EMPORIUM INC
13871 RED HILL CAR WASH
13872 RED HILL MOBIL
13891 SAMS SHELL
14081 REDHILL UNOCAL
14082 JOHNS CHEVRON
14090 CIRCLE K FOOD STORE
14102 ABIDE SHOE REPAIR
14108 TUSTIN ONE HOUR PHOTO
14143 STUDIO 14
14145 A M MEETINGS & TRAVEL PRDCTNS
ANCIENT MARINER TRAVEL
14147 MIANK, DAVID
14160 BADER, FRED
BELL, J P
BLAZEY, TOM
BRUKNER, D M
BUDD, GARY
CARSON, CRAIG P
CHEN, MU C
COLBY, JEFFREY
DEERE, J L
EVANS, CHARLES
FORTENBERRY, DONALD
FRANK, JEFFREY
FRANKEL, E
FRAZE, JON E
GARDEA, DELFINA
KING, S A
LANSANG, THELMA
LEWIS, SUE
LILLJA, CHRIS
LOPEZ, CARLOS A
MANDAHL, JOHN
MCFERSON, STEVEN
NELSON, K
OPRESCU, MARLA
PARK, LISA
PENA, MICHAEL
PHILLIPS, J S
PINWOOD APARTMENTS
QUENZLER, JERRY B
ROCHE, AUDREY J
ROMERO, CESAR
RUIZ, CARLOS D
SANBORN, CLIFTON
SCHMITT, JACK R
SETARO, K
SHARFMAN, JOSEPH

RED HILL AVE

1995

(Cont'd)

14160 SMITH, A
SOLLIDAY, HORACE
TIBIITA, J
VEEH, GARY R
WEISS, STEVEN
WILCOXON, DONALD S

NISSON RD 1992

1305 COOPER, JAMES O
 1401 PERRY, L
 1404 RAMIREZ, F
 1412 CASA CORTEZ APTS
 HARPER, DERICK
 STONGE, MICHAEL
 VELASCO, LUIS
 1441 CERVANTES, GARCIA R
 1451 HILL, MELVIN
 LE, SON V
 LOPEZ, TERESA
 NISSON APARTMENTS
 1471 ALS WOODCRAFT
 1502 SHAH, PRAXIK
 1503 HAMADA, Y
 1507 SWOPES, SAMUEL
 1601 QUINTANILLA, JOSE R
 1602 ADAMSON, DAVID S
 AGUILAR, J
 AYALA, S
 BEST, M
 BRAUN, MILTON
 CARRILLO, B
 DENNIS, LILLIAN R
 EVERLY, D
 FORREST, DORIS S
 GUNDERSON, B
 GUTIERREZ, ALFONSO
 HILL, TRANNIE
 HOWELL, KAYCEE
 HUROWITZ, HARRY
 JOHNSON, CLARK
 JOHNSON, PETER
 KEATING, KENNETH J
 KREMER, KENNETH
 MARTINEZ, F
 MAY, R M
 MOORE, LESTER
 ORANGE GARDENS APTS
 PIPPEN, A T
 RAMOS, JOE
 REECE, H
 REISMUELLER, MAX
 REISSMUELLER, MAX
 REYNOLDS, MARTHA
 ROSADO, FRANCES
 SACKS, L E
 SANCHEZ, VINCE
 SHIKLES, STEVEN
 SHULDINER, F



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NISSON RD 1992 (Cont'd)

1602 STORMS, STEVEN
TETREALT, L
VALENCIA, J D
WEBER, RYAN
WORTHMAN, SHERRY
ZIMMERMAN, S
1716 BECKER, BETTY
QUITO, BLANCA
1720 CRUZ, WILLIAM E
VARELA, CRUZITA

RED HILL AVE**1992**

13848 TUSTIN MILTRY SRPLS
13850 MELS SEWING SERVICE
13852 DRUG EMPORIUM
13871 RED HILL CAR WASH
13872 RED HILL MOBIL SV
13891 SAMS SHELL
14042 AUTO MATE LEASING
14081 REDHILL UNOCAL
14082 JOHNS EXXON
14090 CIRCLE K CORP
14102 ABIDE SHOE REPAIR
14108 TUSTIN ONE HR PHOTO
14122 E R A HOMES U S A
MCDONELL REL EST
14131 CHUCKS STEAK HOUSE
14141 PANCHITO, T
PANCHITOS TAQUERIA
14143 CEMIL ARGON PHOTO
14145 A M MEETINGS&TRAVEL
ANCIENT MARINR TRVL
14147 MAIL&POSTAL NETWORK
SUNSHINE WHOLESALE
14151 MR SCUBA
14160 BELL, J P
CLEMENT, AL
EVANS, CHARLES
FABER, MICHAEL
FRANK, JEFFREY
FRAZE, JON E
GALLARINI, MILES
GRAPENGISER, STEVE
KIM, HOKYEM
PHILLIPS, J S
PINWOOD APARTMENTS
QUENZLER, JERRY B
SANBORN, CLIFTON
SETARO, K
TAJBAKSH, MASOUD
VEEH, GARY R

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NISSON RD 1985

1362	GEORGE S	730-3880	4
1412.....	CASA CORTEZ APTS		
	AGUIRRE GILBERT	730-1337	4
	ALLEN A	838-9361	4
	BRITTINGHAM B	730-5538	+5
33	CASA CORTEZ APTS	838-3600	
	DUNHAM BRUCE	832-6241	4
	FOGLER MATTHEW S	669-8083	+5
	HAACKER T	731-8605	4
	HERRERES EDW	838-3670	+5
	HOLLAR ERIC	838-9928	+5
	JOHNSON SAML	544-8553	+5
	LA THANG	544-9715	+5
	MATUSIAK MARK	669-9413	+5
	MOSELEY E	731-5412	2
	MUNIZ STEVE T	832-3198	4
	STEVENS DANIEL A	838-9031	2
	TAYLOR JOAN	838-5548	+5
	TELEGA MICHAEL	730-3476	+5
	VASUDA HISAAKI	832-3509	+5
	WAYMAN GARY	544-5652	+5
	WAYMAN TERRIE	544-5652	+5
	ZINN MATTHEW	832-2292	+5
1412.....			
1431	XXXX	00	
1439	FERES ISAAC	832-4255	2
1441	HACKMAN PHILIP	832-5392	+5
1451.....	APARTMENTS		
	DREGER ALEXANDER	731-5840	3
	EVANS STEPHEN	838-8379	+5
	FOGLE JOHN	838-7057	+5
	GOEBEL KURT	731-8207	3
	HILL MELVIN	832-8183	2
	LEE H S	730-8450	+5
	LOPEZ T	838-2003	+5
	MENDENHALL J D	832-1589	+5
	MIX L L	838-7632	4
	SIMPSON ROBERT	838-3079	1

NISSON RD 1985

NISSON RD		92680 CONT
	SKOWRON STEVEN	838-2683 0
1451.....		
1471	ALS WOODCRAFT	544-5470
1501	TUTT EUGENE F	730-5303 2
	TUTT R C	544-0637
1505	GENERAL GROWERS	838-7428 1
1602.....	ORANGE GARDENS	
	ADAMS JOHN C	832-2511 +5
	ANDERSON KEITH L	838-3307 8
	ANDERSON R	544-5303 +5
	BEST M	838-3947 2
	BEST MARCIE	838-3947
2H	BRAUN MILTON	832-8426 7
4R	CALHOUN LOIS	544-7704 8
	CASH C L	838-1665 +5
	CORTES JESUS	544-2706 6
8V	CRUME MELVIN	838-6529 6
	DAWS L M	544-8624 1
	DENNIS LILLIAN RUTH	731-6718 1
1B	DUREN A K	838-9393 8
	EHMER G	731-6391 3
S3	ELIASEN B	838-0873
	EVANS IRENE	838-8400 6
5S	FALCON P	832-9497 8
6U	FORREST RANDALL	832-7912
	FORREST WESLEY	838-6504 +5
6H	FOWLER RICKIE J	731-6197 9
	FRIZZELL LATDMA	838-8138 3
	GONZALES ROBERT	730-0411 4
	GUNDERSON B	832-4228 1
	HAMPTON S A	838-0651 3
	HARRISON M T	832-4682 2
	HILL HUGO F	832-1276 8
	HILL STEVE	730-1167 2
	HOWELL KAYCEE	544-7189 +5
	JOHNSON JAY	832-0133 2
	KEATING KENNETH JAS	731-6833 0
221	KEEGAN E F	838-9124 7
	KING BETTY	730-6710 +5
	LEGENDRE L	730-0609 0
9Q	LESTER MADALENE	832-2997 6
	LILLYWHITE SCOTT	731-6552 3
	LOONEY JAMES C	544-4695 1
1F	LYDA RAYMOND	544-8638 9
16Q	MACLEOD A	832-7041
5N	MCCLAIN S	838-5531 9
	MONTGOMERY F A	730-5017 3
	MOORE LESTER	731-0529 1
	NILSON ALVAR A	832-2919 4
	ORANGE GARDENS APTS	832-8400
	OWENS JAMES	731-7908 0
	REECE H	832-8096 0
	REYNOLDS MARTHA	832-5690 0
	RICKS DUANE	731-1421 +5
	SANCHEZ VINCE	730-7065 2
2N	SETER OTTO M	838-7495 6
	SHOPE D	730-2171 +5
	SHULDINER F	838-5285 4
	SILVERSTEIN PHILIP	832-6711 +5
	SNEDDON S	731-6027 +5
	SNYDER D S	669-1874 3
	STARIN MICHAEL S	544-1279
	STEVENS C O	838-8993 7
	STONE ELIZABETH L	832-8091 3
	STORMS STEVEN	832-5307 +5
4H	TETREAU L	832-7965 8
	THOMPSON K L	731-2144 1
	THRAILKILL GEORGE A	730-6789 2
3O	TORRES MAURA	731-2633 7
	TUCK FRANK K	731-3234 4
	WAY J	730-5325 4
	WERLER EMERICH	669-9798 +5
	WHITE MAX	731-2941 3
	WILLIAMS R	838-8629 +5
3W	WOOD J M	731-2182 9
4Q	ZIMMERMAN S	731-3807 8
16Q2.....		
1702	XXXX	00
1712	EAKER RILEY	832-9437 2
	JARVIS SHARYLE L	838-3468 +5
A	SANDSTROM STEPHEN	730-6344 2

RED HILL AVE 1985

14081	REDHILL UNION 76	730-3420	1
	UNION OIL SERV STN	730-3420	4
14082	XXXX	00	
14090	TIC TOC MKT TUSTIN	731-9935	7
14102	ABIDE SHOE REPAIR	838-5381	8
14108	TUSTIN VIDEO	544-3462	+5
14122	CUEVAS G STEVEN	731-0511	9
	FOSTER MICHAEL ATTY	731-0511	9
	GENOVESE JOSEPH A	544-6450	8
	STAGNER ROBT D ATTY	731-0511	9
14131	CHUCKS STEAK HOUSE	832-6660	
14141	VIEBECKS BAKERY	544-0644	
14143	CEMIL ARGON PHOTO	544-8840	0
	GARDEN PARTY THE	544-8840	
14145	ANCIENT MARINR TRVL	838-9780	6
14147	DEYOUNG BEAUTY SPLY	832-0900	8
	VIVIANE WOODARD COS	832-0900	8
14151	AVCO THRIFT	731-6941	3
14160.....	PINEWOOD APTS		
	AMATO PAUL J	730-5874	2
	BAKER ALAN J	832-5402	+5
	BARNES WM J	832-1169	1
	BELL J P	544-0907	6
	BELZER BENJAMIN J	669-0979	3
	BREESE A	838-3834	3
	BUDD GARY	731-6343	1
	CASCO M	730-7043	4
	CASTER CHAS O	544-0211	4
	CHEEK ROBT P	730-8101	3
	CORIELL RORY	838-2952	+5
	DEVUSSER SONNY	730-5689	+5
	DICKEY MARTIN	731-8309	+5
	DICKEY R J	669-0787	3
	DONDIEGO CHRIS A	832-0756	1
	EPSTEIN JOEL H	730-3789	0
	ESENWEIN T	838-6035	1
	FAITH DAN	730-3578	+5
87	GARTNER C	832-5232	8
	GREGORY C E	731-0130	+5
	HARPER B	832-9042	+5
	HENDRICKSON CHAS	669-0448	3
	JEFFERIES DARREN	669-9380	4
117	KATALINICH B	838-4542	6
	KERRIGAN STEPHEN M	669-0556	4
	KHAN A	832-8357	+5
	KWOK HERBERT	832-8334	+5
	LESZCZYNSKI L M	730-9505	2
	LILES C LEON	838-1384	+5
	LINDE DAVID	832-5296	+5
	LOGSDON JEAN	544-8571	4
	LOUKS DARRELL	669-8190	+5
94	MOOTE PETER N	832-9101	8
	MORRIS M	730-3595	2
	MUNROE JAS	731-6684	3
	MURAI AKI	832-6293	4
	NELSON K	731-0708	4
	OSBORNE PATRICA A	669-0442	4
76	PANATTONI GEO	838-5878	8
103	PINEWOOD APARTMENTS	832-1022	
21	RAY A C	838-7929	
	RHODES CLIFFORD E	731-4372	+5
	RIVAS ERNESTO	838-4586	+5
	RODRIGUEZ G A	669-8946	+5
	ROTH ROBT E	730-1159	2
	SABAG PHILIP	544-2686	9
	SCHEELE DONALD J	544-8559	4
	SCHOOLS FRANK J	731-4592	0
	SHAW P F	731-0450	+5
	SHEARER B A	832-5228	+5
	SKIDMORE L F	832-6422	8
	SKLAR PARMA K	838-6267	+5
	SMITH A E	838-6879	+5
	TAHMASBI PIROUZ	669-1481	+5
	TROTTIER DAVID	832-2190	4
	VANOLDEN ROY E	731-8352	+5
109	VEEH GARY R	544-1737	7
	WAGNER P	731-8121	+5
	WALLACE LINDA J	838-3214	+5
36	WILCOXON DONALD S	838-3848	9
14160.....			

NISSON RD 1980

1362	XXXX	00
14 12.....	CASA CORTEZ APTS	
	ANDERSON D J	731-4742 +0
	ANDERSON JAY S	544-9737 +0
	AUSTIN J L	731-8588 +0
41	BEGUS VINZENZ	544-4306 7
	BENNETT TOM MRS	731-1564 9
	BOGANS ARTIE R	731-8055 +0
	BOVEE JAMES KEITH	731-6098 +0
	CARPENTER L A	730-0158 +0
33	CASA CORTEZ APTS	838-3600
	CLIFT T L	730-0950 +0
	DIETZ JOHN	730-0643 +0
	GREENE ROBT E	838-8860 +0
39	HERGET MICHAEL	838-1855 7
	INGRAM LORI K	832-2810 +0
	KEPPEN R E	544-2980 9
	KIRBY JUDY	731-6673 +0
13	LAWSON V	731-0787 8
	MORGAN M G LT	731-6022 +0
30	MOSES ROWLAND	731-2641 8
	MUSCATO DANA M	838-2616 9
	OKEEFE DANL	730-1581 +0
18	PALMER WM L JR	731-3488 8
	PARISO M	832-0119 +0
	SKINNER T	731-9308 +0
	SMITH MICHAEL L	838-9286 9
28	STEWART M L	832-5118 4
	VANDERWAAL MICHAEL	731-8361 +0

NISSON RD 1980

NISSON RD	92680 CONT.
VILLA FRANK	832-2810 +0
WELCH JERRY	544-2321 9
WESTRA ROSALIND A	731-4742 +0
ZACHARY SCOTT R	544-9737 +0
ZATYKO LESLIE A	731-3884 +0
ZISKA GEO S	731-9437 +0
1412	XXXX 00
1431	MILEY T F 832-7126 9
1439	JENNINGS BILL 731-7821 +0
1451	APARTMENTS
	KAWABE KOICHI 832-5522 +0
	MCDONALD FRED J 832-8029 8
	MESSERSCHMIDT CARL 731-4523 +0
	MURRAY DON 730-1189 +0
	ORTA ELIAS 832-8739 +0
	RAYMOND JOS 838-6972 9
	SKOWRON STEVEN 838-2683 +0
A	MIX L L 838-7632 6
1451	ALS WOODCRAFT 544-5470
1471	TUTT EUGENE F 544-2513
1501	TUTT R C 544-0637 4
1505	ORANGE CO PLNT SPLY 838-7428 4
1602	ORANGE GARDENS
	ANDERSON KEITH L 838-3307 8
W5	BAKER DAISY M 838-0376 4
	BALKEMORE MARY L 832-0229 7
8Q	BARRETT R 544-5331 5
	BEACH B M 730-3945 +0
5F	BETZ C E 832-0687 8
	BITTICKS STEVEN 544-5650 +0
2H	BRAUN MILTON 832-8426 7
	CABRERA MARGARITA 838-0446 +0
4R	CALHOUN LOIS 544-7704 8
	CAMPBELL WM ROGER 731-3285 +0
	CORBIN MERLIN 832-5430 +0
6G	CORTES JESUS 544-2706 6
	COX JAS T 832-4817 +0
8V	CRUME MELVIN 838-6529 6
	DANIELS DAVID A 731-2301 9
1B	DUREN A K 838-9393 8
	EARLY PEGGY 838-8750 9
	EISENBERG MARTIN 731-6076 9
S3	ELIASEN B 838-0873 4
	ESTEVES GINGER 731-0464 +0
	EVANS IRENE 838-8400 6
	FAEH LARRY 838-2790 +0
5S	FALCON P 832-9497 8
6U	FORREST RANDALL 832-7912 4
	FOWLER RICKIE J 731-6197 9
	FRIDLUND ROBT 832-2336 9
	GREENBERG DAVID E 832-6167 7
10Q	HASSEL GLADYS 544-3335 7
	HILL HUGO F 832-1276 8
	HILLEN JOHN 731-2419 +0
	HOPKINS PAUL JR 838-7286 9
	HOSKISSON ROBT E 832-4099 +0
	HUGHES DALE 544-7328 +0
	INGRAM RAYMOND A 730-2086 +0
	IRWIN CHAS 731-4317 +0
6W	IRWIN JEAN 838-2688 5
	JARVIS ROBT E 731-3128 9
	JIMINEZ O 730-0804 +0
	KAUFMAN THOS M 838-1888 8
	KEATING KENNETH JAS 731-8833 +0
221	KEOGAN E F 838-9124 7
	LEGENDRE LINDA 730-0609 +0
9Q	LESTER MADALENE 832-2997 8
	LONG TOM 731-8584 +0
	LONGTIN SANDRA FAYE 730-0218 +0
	LYDA RAYMOND 544-6638 9
16Q	MACLEOD A 832-7041 4
7Q	MAY R M 544-3520 7
	MCCLAIN HAROLD L 838-5531 9
	MCLAIN ROGER D 832-1512 +0
	MESZAROS IRENE 544-2786 7
	MILLER E E 731-7184 +0
G4	MONTES F R 832-1621 4
	MULLINS ROY C 731-3390 +0
	NEWLAND NANCY 838-6108 +0
4T	OCHOA E M 832-8782 4
	ORANGE GARDENS APTS 832-8400 6
	OWENS MARCIA 731-7908 +0
G2	OWENS POP 544-2289 4
	PATRICK W J 838-8924 9
	PEREZ NICK 731-2464 +0
	PRATT ROBT M 730-3517 +0
	REECE HELEN 832-8096 +0
	REYNOLDS MARTHA 832-5890 +0
1V	ROBINSON TOM 838-8297 8
	ROUTZAHN KEITH 838-5956 9
	ROYSTER DAVID 832-5313 9
	SANDOVAL DAVID A 832-4357 9
2P	SANDOVAL JESUS 832-0326 6
2N	SETER OTTO M 838-7495 6
15Q	SHOPP L 838-9154 6
5Q	SHUPE E L 832-5721 5
2U	SMITH R C 832-9055 7
	STALLKNECHT CLOIS 832-2257 9
	STARIN MICHAEL S 544-1279 5
	STEPHENS JAS W 832-0051 9
	STEPHENS CLARA O 838-8993 7
	STOUT LEE SKIP 730-1251 +0
1C	TETREAULT L 832-7965 8
2X	THOMPSON K L 838-8056 8
3Q	TORRES MAURA 731-2633 7
	TYLER MARLAND S 731-8121 +0
	VARNER DALE E 832-5406 +0
	VAUGHN PETE 838-8007 4
	VAUGHN S D 838-8007
	VEIT S L 731-6646 +0
	VINCENT D 731-5437 +0
23Q	VOSS LEWIS W 838-2171 7
	WERLER EMERICH 731-7568 +0
	WILLIAMS RICHARD 832-0179 +0
	WILLIS ROGER REV 730-1183 +0
	WOLF J J 838-0851 7
	WOOD J M 731-2182 9
4Q	ZIMMERMAN S 731-3807 8
1602	

RED HILL AVE 1980

Address	Name	Phone Number
..RED HILL AV		92680 CONT..
	BELL J P	544-0907 6
	BLACKSTONE MARK	544-2537 +0
	BOTH GREGORY S	731-0928 9
	BOYD B E	730-1900 +0
	BROWN FRED	731-7125 +0
	CARILSIE K	731-1130 +0
	CIRULLO RONALD	731-6725 +0
34	COFFIA S H	544-2123 5
	CROW DON	730-3453 +0
	CUBBERLEY KENNETH B	731-5189 +0
	CURTIS MICHAEL	832-0449 +0
	DAVIDSON D	731-6168 +0
	DEAN D L	731-8831 +0
	DECK ARMIDA	731-8742 +0
	DESIDERIO CHAS	731-0085 9
	DUNLAP DAVID A	730-1736 +0
	DUNN WM B	731-7357 +0
	EPSTEIN JOEL H	730-3789 +0
	FACCONE D	731-6042 9
13	FLEMING LAWRENCE V	832-1557 5
	FLOYD SABRA	832-7416 +0
121	GABLE CAROL	838-6790 6
	GARCIA THOMAS J	832-9281 9
	GARCIA THOMAS J	832-1478 9
87	GARTNER C	832-5232 8
	GORDON KATHERINE C	544-3526 9
	GOWER BILL D	730-1742 +0
	GRIFFITH O K	731-0976 7
	HOCKENSMITH WAYNE C	731-9433 +0
	HOGLE LARRY K	832-7316 +0
	HURLEY M	730-1900 +0
	INNOVATIVE IMAGERY	730-1960 +0
	ISHII M	832-2129 +0
	JACKSON S	731-6609 9
	JACOBS JOHN F	730-3983 +0
	JORGENSEN VERNER	838-3732 9
117	KATALINICH B	838-4542 6
110	KERSEY MICHAEL B	731-2164 8
	KLEMM LOUIS E	832-9231 9
	KOROTENKO RICH	544-6449 +0
	KRAUS ROBT A	832-6004 4
	LOOPER DAVID	544-5918 +0
72	MARGOLIS BARNEY	832-5033 7
	MCCONNOHIE KENNETH	731-7823 +0
	MCINTURFF RICHARD	544-3526 9
	MCRAE L	832-6075 6
	MILLER JAY M	731-5293 +0
94	MOOTE PETER N	832-9101 8
	MORGAN GUY	731-9392 +0
	MORRIS KATHLEEN A	731-4367 +0
	MOWRY T	731-6139 +0
38	MUNROE JAS	544-3103 4
	OLSZEWSKY P J	832-5094 +0
76	PANATTONI GEO	838-5878 8
103	PINEWOOD APARTMENTS	832-1022 3
	POTTER T	731-5673 +0
21	RAY A C	838-7929 4
	REDDECLIFF LARRY L	838-4547 +0
	RIDGWAY L H	731-4195 9
	SABAG PHILIP	544-2686 9
	SCHEER PATRICK	544-7408 +0
	SCHOOLS FRANK J	731-4592 +0
	SHORT C	832-0540 4
	SILVERSTEIN PHILIP	832-6711 +0
	SKIDMORE L F	832-6422 8
	SMITH GORDON M	731-6435 +0
	SMITH SUSAN	731-4496 +0
	SOLOMON D Q	731-6616 +0
	STOLTE M L	838-5332 9
2	TANSLEY E A	838-1368 8
	TAYLOR PHYLLIS	838-9895 9
47	THOMPSON LEO G	832-5386 3
	VALLANDIGHAM S M	544-2537 9
	VAWTER B	838-2035 9
109	VEEH GARY R	544-1737 7
80	WALTERS JUDITH	731-4480 8
20	WEBBER ROBERT A	838-6570 7
	WILCOXON DONALD S	838-3848 9
71	WILEY JOSEPH H	832-6708 7
	WOODLAND CMNCTN	731-8268 +0
	ZANK R	731-5386 +0
14160		

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NISSON RD 1975

160....APARTMENTS		
	DAVIDSON JACK R	832-9164+5
	DEFRESE ROBT	544-3420+5
	KAUFMAN JUDY	838-5365+5
	LYONS KURT	838-8929+5
	SCHNEIDER RONALD B	838-8165+5
	SLACK L BRADLEY	832-5116+5
	WHITTEN ROBIN	838-8929+5
	WONG JOSE	544-3420+5
160.....		
1412....CASA CORTEZ APTS		
	BATEMAN KERRY L	832-2999+5
19	BAUMAN JACK L	838-2187 3
	BUIE CHARLOTTE	544-4994+5
33	*CASA CORTEZ APTS	838-3600
22	EISNER CHAS B	838-7640 4
41	EMERICK DEAN	544-2106 4
20	FRANK FREDERICK C	544-5208 4
5	GREENLEAF V P	838-6210 4
	HANKINS JIMMY RAY	544-2732+5
	HERNANDEZ TOM	838-3203+5
	KEPLEY JAS TODD	832-8791+5
	KEPLEY NANCY B	832-8791+5
43	KURTH CHAS W	832-9182 3
	MCCABE JOHN A	832-9528 4
	NEWTON KENNETH T JR	838-3284+5
	OMURA SHUZO	832-2518+5
	OSTERTHALER CARL	832-0382+5
25	RAGSDELL AGNES	544-0735 4
	RAMIREZ HENRY	544-4377+5
	REDMOND MICHAEL F	544-7798+5
	ROBERTSON BRIAN E	838-6058+5

NISSON RD 1975

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..NISSON RD 92680 CONT..
2B STEWART M L 832-5118 4
   ZERCHOT ROLAND 832-6447+5
1412.....
1431 XXXX 00
1433 BYNUM ROBT 832-3791+5
   ROTHERHAM SARAH 832-3791+5
1439 MENDEZ DAVID 544-6656 4
1451...APARTMENTS
   ATHANAS RANDY 838-1665+5
   BLANDY JONILYN M MS544-9309+5
   GROCE DALE T 832-0476+5
   HOWARD DAVID L 838-0409 4
   INBODEN GREGORY C 832-2970+5
   KYUNG KIM HONG 832-2709+5
   9 LIND JOHN S 832-6736 4
   MYERS FRED J 838-9742+5
   RUOCCO PHIL 832-3528+5
   B THOMPSON RICHARD L 544-4847 4
   F JOHNSON JEANNE 832-8964 4
1451.....
1471*ALS WOODCRAFT 544-5470
1501 TUTT EUGENE F 544-2513
   TUTT R C 544-0637 4
1505*ORG CO PLANT SUPPLY838-7428 4
1602...ORANGE GARDENS APTS
   AMBROSE DONALD G JR832-9505+5
   ARRA D 832-2367+5
W5 BAKER DAISY M 838-0376 4
F3 BALES VIRGIL C JR 832-0896 4
   BARRETT R 544-5331+5
   BAYNES DONALD 838-5384 4
   BAYTES WM B 838-5571 4
   BEACH DONALD F 838-5608+5
   BLEDSOE STEVEN 832-4479+5
   BROWN M 838-9382+5
   BUSCH KATHY 832-6069+5
V2 CARTER BARBARA M 838-0276 4
I3 CASAS MARK 838-4343 4
   CHRANKO L 832-3189+5
   COOK JAS L 838-1866+5
R1 CORKLE B L 544-0542 4
Q12 DARLING J M 544-2858 4
   DAVIS AUSTIN D JR 838-4388+5
L1 DAVIS RONNIE L 838-6642 4
   DEVOY J S 632-2088+5
O1 DUPREE DONALD R 544-2874 4
S3 ELIASEN B 838-0873 4
U2 EVERETT CARL E 832-5706 4
U6 FORREST RANDALL 832-7912 4
   FRANKLIN JUDY 838-6459+5
   GALLANT RICHARD P 544-9301+5
   GARCIA D C 838-6573 4
N3 GIEBE THOS J 544-8560 4
M5 GRETCHNER JOHN 832-5688 4
   GUSTEN J 832-7033+5
   HARLEY WAYNE 544-8070 4
R5 HAYWOOD VIRGIL 544-1411 4
R4 IBANEZ R 838-0942 4
R4 IRANEZ ROCHELLE 838-0942 4
   IRWIN JEAN 838-2688+5
Q23 JONES LAWRENCE R 832-9576 4
Q17 KELLY M 544-2353 4
   KRAMER J G 832-0127+5
Q9 KRATZ DANL 838-1135 4
   LATTENHAUER THOS 544-1035+5
   LESSER GEO 832-8196+5
N4 LOUER GARY 832-5486 4
Q16 MACLEOD ANN 832-7041 4
U1 MARTIN THOS J 838-9310 4
   MCCANN DONALD V 832-9446 4
X2 MENIKHEIM G B 838-8061 4
N1 MILLER BARRY P 544-5390 4
S6 MILLER SUSIE C 832-8665 4
G4 MONTES F R 832-1621 4
   NICHOLS M 544-6906 4
   DBUCHOWSKI ADAM 544-4621+5
V1 OCHOA E M 832-8782 4
H2 OGDEN ARTHUR 832-7530 4
   *ORG GARDENS APTS 832-8400+5
G2 OWENS POP 544-2269 4
E4 PAYNE B M 838-3372 4
K5 PRICE ANITA 832-7434 4
F2 RAMIREZ JOHN H 832-7961 4
   ROBINSON THOMPSON 838-6297+5
   RODEN DAVID M 832-4608+5
   RUSSELL ALAN D 838-7339+5
K1 SHERRICK RICHARD E 832-5996 4
   SHUPE E L 832-5721+5
   SMITH PAMELA A 832-3385+5
   SMITH WM P 832-3385+5
   STARIN MICHAEL S 544-1279+5
   SULLIVAN ROBT 832-5851+5
E1 TABLER W L 838-3055 4
T1 TERRELL JAY 832-5951 4
   TETREAUULT L 838-4523+5
   THOMPSON DON R 838-3135+5
   VAUGHN PETE 838-6007 4
   VAUGHN S D 838-6007 4
   VENERACION MIGUEL 832-5216+5
C3 WAGNER EDW L 838-7194 4
   WEDDLE ROBT 832-2207+5
   WILLIAMS L 838-6765+5
   WORSLEY JOHN 832-1138+5
S5 WRIGHT B 544-6217 4
1602.....
1702*HACIENDA CSTM POOLS832-5300 4
1712 ARZOLA J J 544-5129+5
   MARTIN MICHAEL W 832-4247+5
1714 LOGAN CYNTHIA A 838-2504+5
   PSCHIRER S 838-8572+5
   PSCHIRER T C 838-8572+5

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RED HILL AVE 1975

14081	*PRESCOTT DON UN SV	544-308 4
	*UNION OIL SRV STN	544-308 4
14082	*EXXON PRDS CAR WASH	544-9738 5
	*EXXON SERVICE STN	544-9738 3
14090	*TIC TOC MARKETS INC	832-9735 2
14102	*FAR WEST VCM SWG CT	544-3863 5
14108	*CASA MENDZA HR DSGN	832-9555 5
14122	GIVENS J L	544-5103 5
14131	*CHUCKS STEAK HOUSE	832-6660
14141	*VIEBECKS BAKERY	544-0644 4
14143	*GARDEN PARTY THE	544-8840 4
14145	*JULIES PAINTD ORGNL	544-2065 4
14151	*ALLSTATE INSURANCE	832-3900 5
	*SEARS ROEBUCK&CO	832-4810 4
14160	...APARTMENTS	
	ADAMS CHET	832-7631 5
	ANDERSON J K	838-6760 5
	ANDREWS JACK	838-5674 5
	ASMANN BRETT	832-1957 5
	AULT DAVE	832-9047 5
67	BARRETT DGN L	838-0497 4
	BERNARD EDW F	832-6830 5
	BEVAN J A	832-0512 5
	BLADES DARWIN D	832-2428 5
	BONDSHU CHAS S	832-6255 5
37	BOONE ALEXANDER	832-4187 3
46	BRUNMEIER A J	832-4765 4
	CARPENTER LARRY C	838-7213 5
	CHAIM GARY	832-0697 5
	CIKASAWA C	832-5107 5
	CLAUS DENNIS	832-0293 5
	CLAUS LAURINDA	832-0293 5
	COFFIA S H	544-2123 5
	COWAN GAIL H	544-1929 5
	FEHER JAS S	838-5752 5
26	FEUER ROBT	838-4469 4
	FINGER DAVID BRUCE	832-5291 5
	FLEMING LAWRENCE V	832-1557 5
	FOOR TIM	544-2454 5
	FURTNER VINIBALDA	832-2561 5
	GARDNER ALAN	544-9537 4
116	GIBSON V	838-8758 3
96	GORDON LOUIS PAUL	544-3877 3
	GRENNAN KAREN	838-3526 5
	HAY LESLIE BURON	544-8664 5
	HAY RONALD S	544-8664 5
99	HAYWARD ROBT	832-7387 4
	HOLLAND JOHN	544-7247 5
27	HOOPER J E	832-1154 3
52	JACOBSON ALLEN R	838-3124 4
91	JONES G B	832-4402 4
	KEATING WM 3D	838-4175 5
	KIMLER ERIC	832-0965 5
103	KLINE P	544-5410 4
	KRALL MICHAEL L	832-3285 5
39	KRAUS ROBT A	832-6004 4
	LAMSON J P	838-5484 5
	LEIGHTON N G	832-7056 5
	LEONHARDT HARLAN C	832-7039 5
109	LIVINGSTON M D	832-1937 4
56	MASSI A V	838-5856 3
	MILLER E	832-8738 5
	MORGAN DENNIS	832-4555 5
9	MORGAN JULIE A	832-5387 4
38	MUNROE JAS	544-3103 4
	NORRIS JOHNNY R JR	832-6513 5
	OLSON J F	544-5652 5
	ORMSBY RICHARD	544-3881 5
76	ORR GEO M	544-6834 4
76	ORR MALCOLM	544-6834 4
	PAPADAKIS JAS N	832-2206 5
	PINEWOOD APARTMENTS	832-1022 3
	POWERS DIANA	832-8514 5
	POWERS JEFF	832-8514 5
	RASMUSSEN JEFFREY	838-7094 5
74	RATKOVICH LEO	832-7189 3
21	RAY A C	838-7929 4
	REYMAN ELAINE	544-2385 5
	REYNOLDS RAYNETTE	832-0190 5
	REYNOLDS SHARON	832-0190 5
	RUBEN JOS	544-2348 5
	RUSSELL DENNIS	838-7173 5
	RYAN MAXINE	544-5652 5
	SCHIEFELBEIN JUDY	838-3517 5
	SHARP CHUCK R	832-2935 5
3	SHORT C	832-0540 4
32	SMITH MARILYN	832-9526 4
105	*SNYDER BILL POOL SV	832-1890 4

RED HILL AVE 1975

Target Street	Cross Street	Source
..RED HILL AV		92680 CONT..
97 SWANGO DANA		838-6677 4
47 THOMPSON LEO G		832-5386 3
TORTORICI V B		544-5716+5
USHER ROLLIN		544-7811+5
WAY WM		832-4183+5
WEISS GAYNE D		832-2488+5
WELCH EARL B		838-9291+5
42 WESSON RANDY M		838-2732 4
WHITTINGHAM D MAJ		832-1331+5
WILSON LARRY		544-7169+5
WOOD DOUGLAS B		544-2471+5
14160.....		

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NISSON RD 1972

140	ERNEST GARY J	544-5468+2
	HARDESTY ROBT B	832-9398+2
	HARDESTY THERESA A	832-9398+2
	JOLLEY GRANT 3D	544-8315-
150	CHRISTENSEN S H	838-1463
	JUNGKEIT LORRAINE	544-3962+2
160	GEORGE JOANN	832-4832+2
	WILSON DEBBIE D	544-7910+2
1412....	CASA CORTEZ APTS	
	BARTON HARRY C	838-7198+2
	BOONE DANL N	838-3147+2
	BOYER L M	544-5607+2
	BULLOCK DAVID A	838-5951+2
	CARLTON JAS R	838-8252+2
	CARRILLO CARLOS	838-6305+2
	CARRILLO PATRICIA	838-6305+2
19	*CASA CORTEZ APTS	838-3600
	CHAMBERS J A	838-5154+2
	CORNELIUS LOUIS E	838-4131+2
	DURANT WM	838-2159+2
	GREEN MACK R	544-4864+2
	KHAMIS NAFEZ SUBHI	544-1759+2
12	KLEDZIK PAUL J	838-2974
43	KURTH CHAS W	838-6690
	LABOUNTY GEO	832-4966+2
11	MAISE S A	544-0768
	MANSER GERALD E	832-6291+2
	MCKEE CHRISTOPHER	838-7854+2
	MOORE CAROL	832-8656+2
	MURPHY DAVID L	832-5326+2
	PARIS JANIE	544-9674+2
	PARIS NORMIE	544-9674+2
	PIERCHALA JAS	832-1437+2
38	RELIN BRIAN	544-9573
	REVERE JOS R	838-8252+2
	SALCIDO AL	832-7568+2
	TOWNSLY JUDY	832-4966+2
1	UYESUGI A	832-9362
	WILLIAMS KATHI	832-0445+2
	WILLIAMS STEVEN A	832-0445+2
	WOJAK WALT J	838-3317+2
1412.....		
1439	BALCH GENE W	544-7585+2
1451....	APARTMENTS	
	ANDERSON SHELLEY	544-3103+2
	HAMAMOTO CHOSEI	832-8706+2
	HINES JOHN	832-0686+2
	JOHNSON JEANNE	832-8964+2

NISSON RD 1972

..NISSON RD		92680 CONT..
	KENNEDY HARRY R	832-1578+2
	LEPAK MARIA	832-8706+2
	MORTON JUDITH A	838-5341+2
	PETTUS JOHN D	838-5982+2
	PORTER MICHAEL	544-1434+2
	H CRABTREE JOHN	544-4144
1451.....		
	1471*ALS WOODCRAFT	544-5470
	1501 TUTT EUGENE F	544-2513
	1712 HANSEN SUSAN P	838-5391+2
	1714 CHAPIN ROBT LEE JR	832-6358+2
	1716 BLACK W J	838-0963+2
	KRUPP ROBT J	838-1610+2
	WISE LINDA	544-5749+2
	1720 GREEN MICHAEL A	838-1124+2
	1722 JOHNSON JOHN W	838-1455+2
	ROTH MICHAEL	832-6859+2
	VAUGHAN JUDY	832-5407+2

RED HILL AVE 1972

14081*G&S TRANSMISSN CNTR 544-5296+2
*JOHNS UNION SERVICE 544-3078
*UNION OIL SRV STN 544-3078
14082*ENCO PRDCTS SV STA 544-9738+2
14090*TIC TOC MARKETS INC 832-9735+2
14102*SUB N PIZZA 832-4444+2
14108*MAYS BARBER SHOP 838-5980
14122 GIVENS T L HANK MRS 544-5103
14131*CHUCKS STEAK HOUSE 832-6660
14171*STATER BROS 544-1812
14192 BOARDMAN RALPH E 544-5969
14201*MARCO POLO ITL CSNE 838-9560+2
14203*BROADVIEW REALTY 838-1234+2
14207*ORPHANESE 832-9222+2
14209*NICKS BARBER SHOP 838-9901+2

Exhibit 1-2

NA

Tustin, CA 92780

Inquiry Number: 4964215.4

June 12, 2017

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report

06/12/17

Site Name:

Exhibit 1-2
NA
Tustin, CA 92780
EDR Inquiry # 4964215.4

Client Name:

Kimley Horn & Associates, Inc.
401 B Street
San Diego, CA 92101
Contact: Casey Schooner



EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by Kimley Horn & Associates, Inc. were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:**Coordinates:**

P.O.#	NA	Latitude:	33.732776 33° 43' 58" North
Project:	Red Hill SPA, City of Tustin	Longitude:	-117.816698 -117° 49' 0" West
		UTM Zone:	Zone 11 North
		UTM X Meters:	424343.37
		UTM Y Meters:	3732826.80
		Elevation:	106.00' above sea level

Maps Provided:

2012	1902
1981	1901
1972	1896
1950	
1948, 1949	
1942	
1935	
1932	

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Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2012 Source Sheets

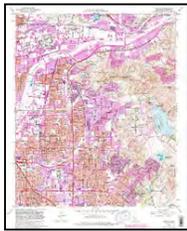


Orange
2012
7.5-minute, 24000



Tustin
2012
7.5-minute, 24000

1981 Source Sheets



Orange
1981
7.5-minute, 24000
Aerial Photo Revised 1978

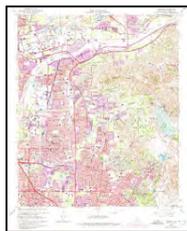


Tustin
1981
7.5-minute, 24000
Aerial Photo Revised 1978

1972 Source Sheets



Tustin
1972
7.5-minute, 24000
Aerial Photo Revised 1972



Orange
1972
7.5-minute, 24000
Aerial Photo Revised 1972

1950 Source Sheets



Tustin
1950
7.5-minute, 24000
Aerial Photo Revised 1946



Orange
1950
7.5-minute, 24000
Aerial Photo Revised 1946

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1948, 1949 Source Sheets



Tustin
1948
7.5-minute, 24000
Aerial Photo Revised 1946

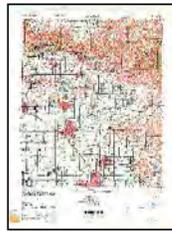


Orange
1949
7.5-minute, 24000
Aerial Photo Revised 1946

1942 Source Sheets



SANTA ANA
1942
15-minute, 50000



ANAHEIM
1942
15-minute, 50000

1935 Source Sheets



Orange
1935
7.5-minute, 31680



Tustin
1935
7.5-minute, 31680

1932 Source Sheets



Orange
1932
7.5-minute, 31680



Tustin
1932
7.5-minute, 31680

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1902 Source Sheets



Corona
1902
30-minute, 125000

1901 Source Sheets



Santa Ana
1901
15-minute, 62500

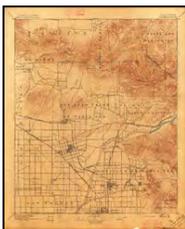


Anaheim
1901
15-minute, 62500

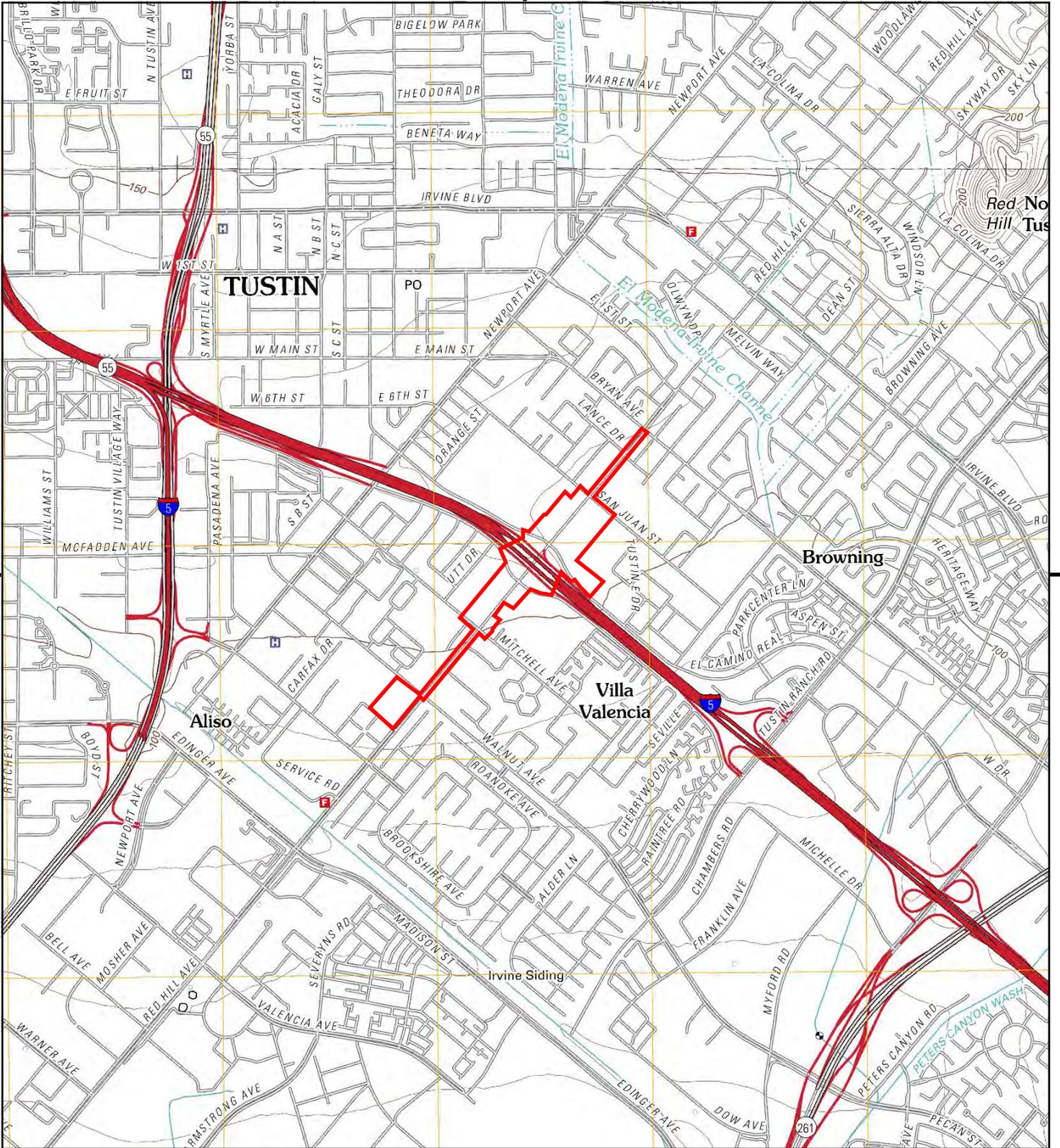
1896 Source Sheets



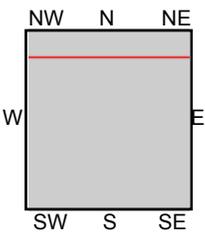
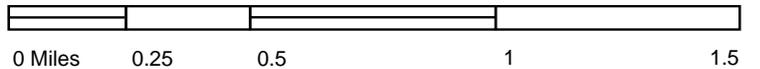
Santa Ana
1896
15-minute, 62500



Anaheim
1896
15-minute, 62500



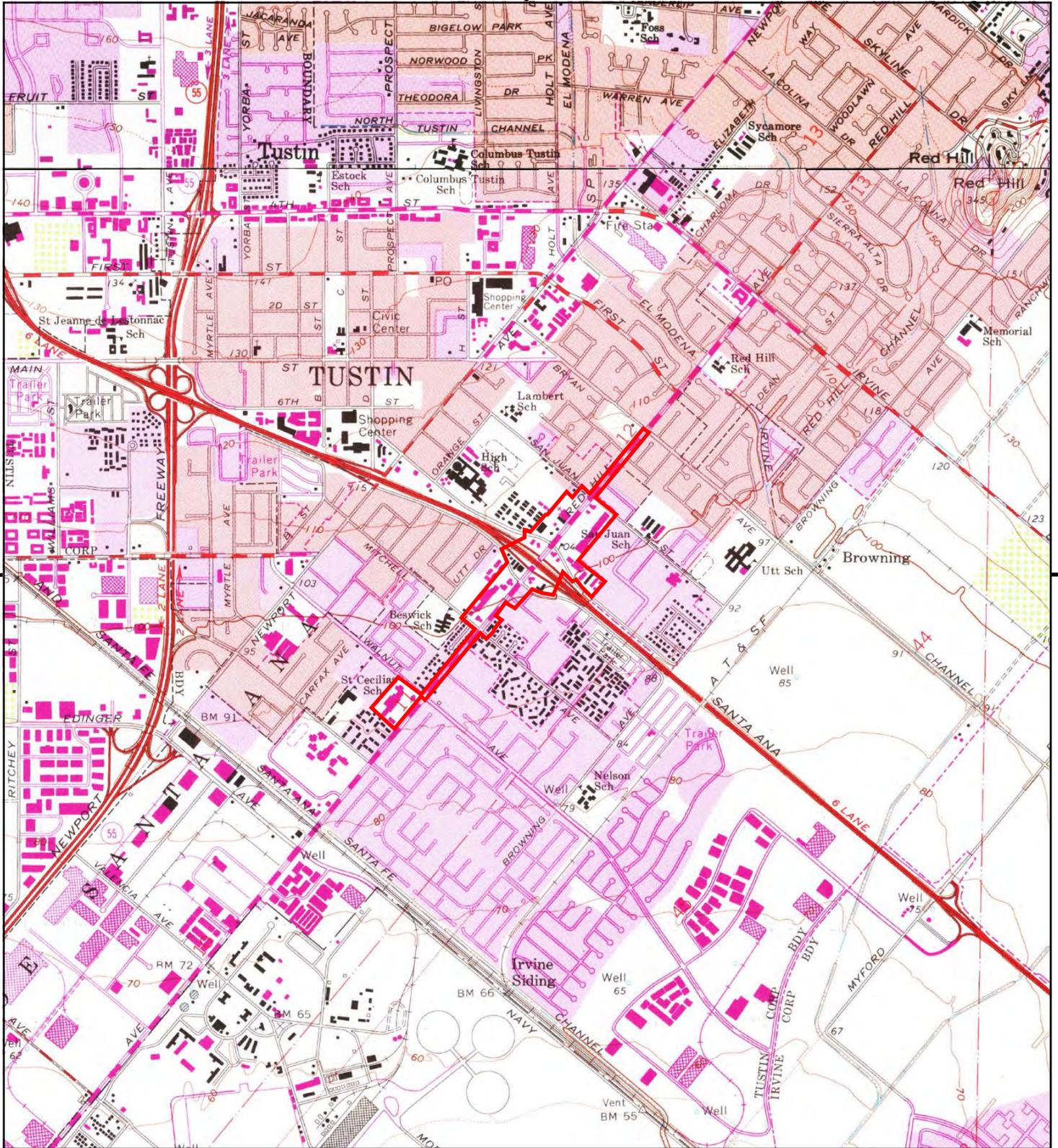
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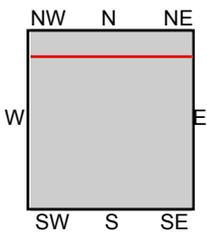
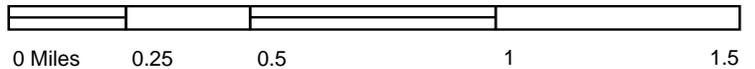
TP, Tustin, 2012, 7.5-minute
N, Orange, 2012, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





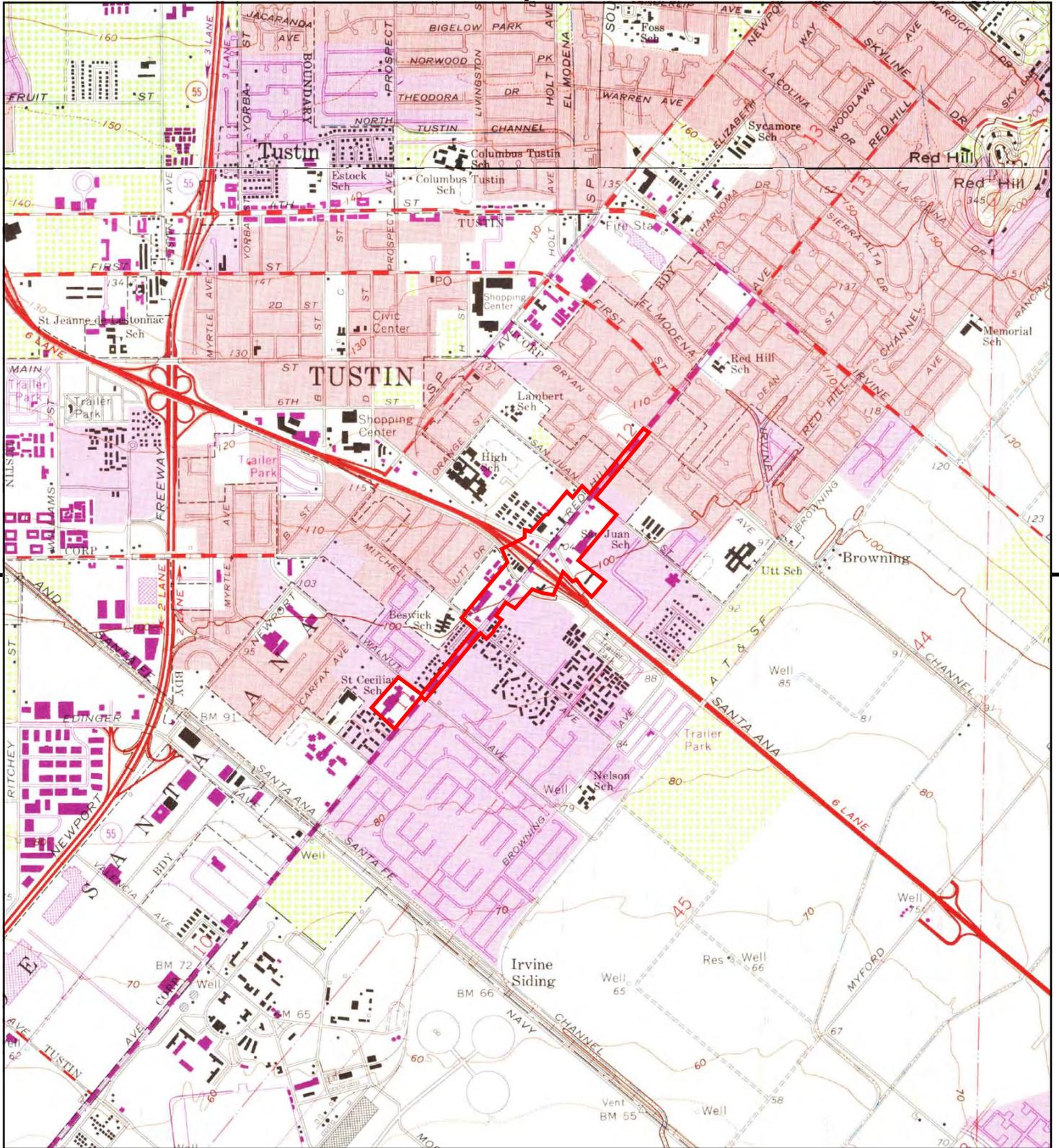
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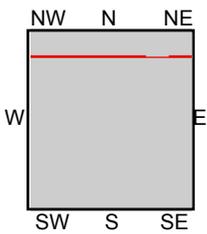
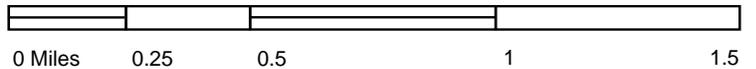
TP, Tustin, 1981, 7.5-minute
N, Orange, 1981, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





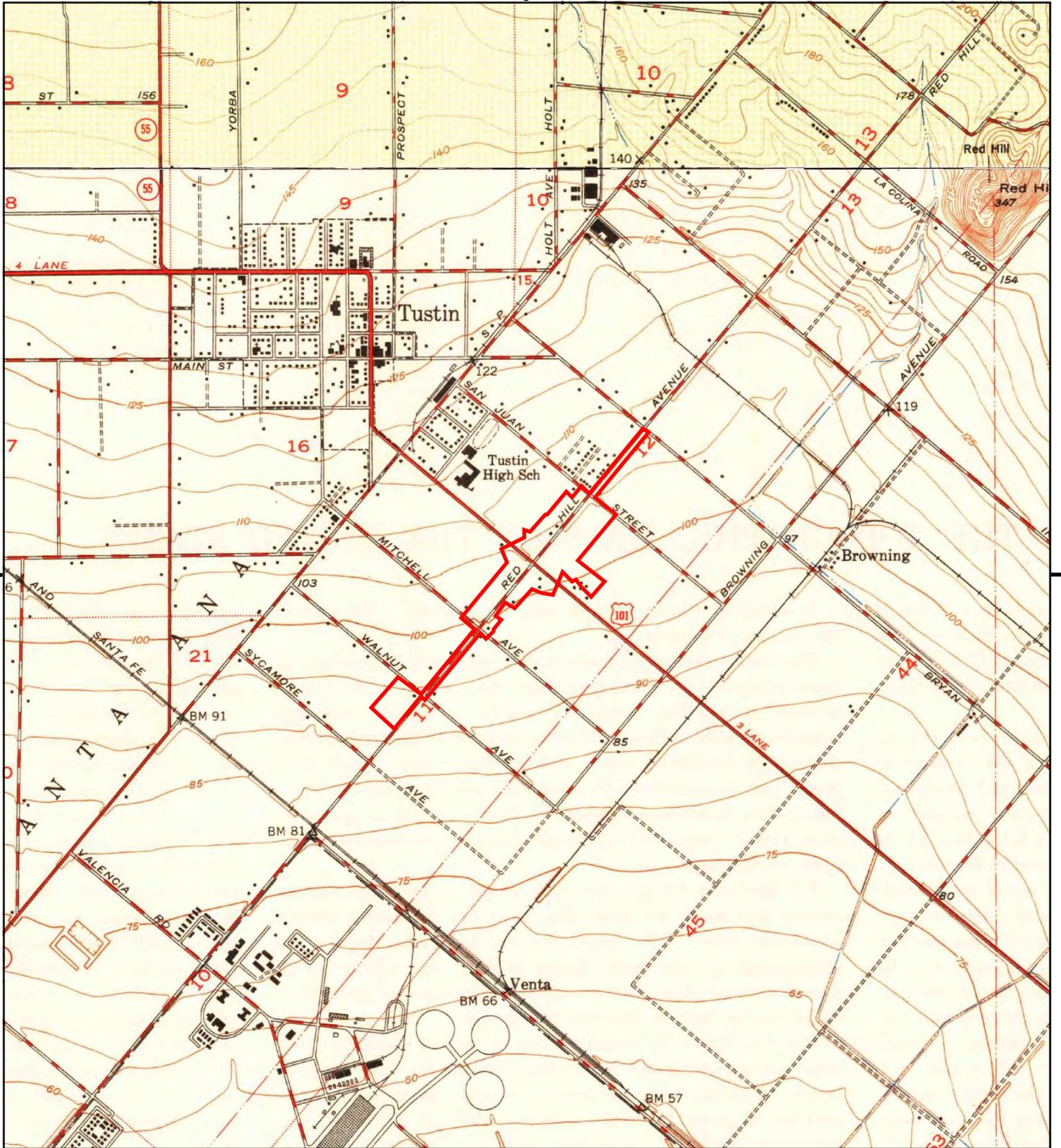
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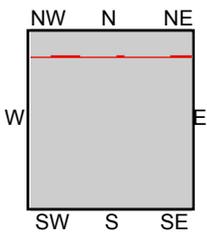
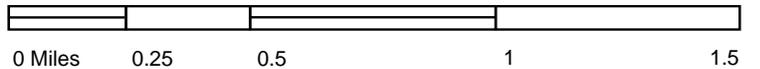
TP, Tustin, 1972, 7.5-minute
N, Orange, 1972, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





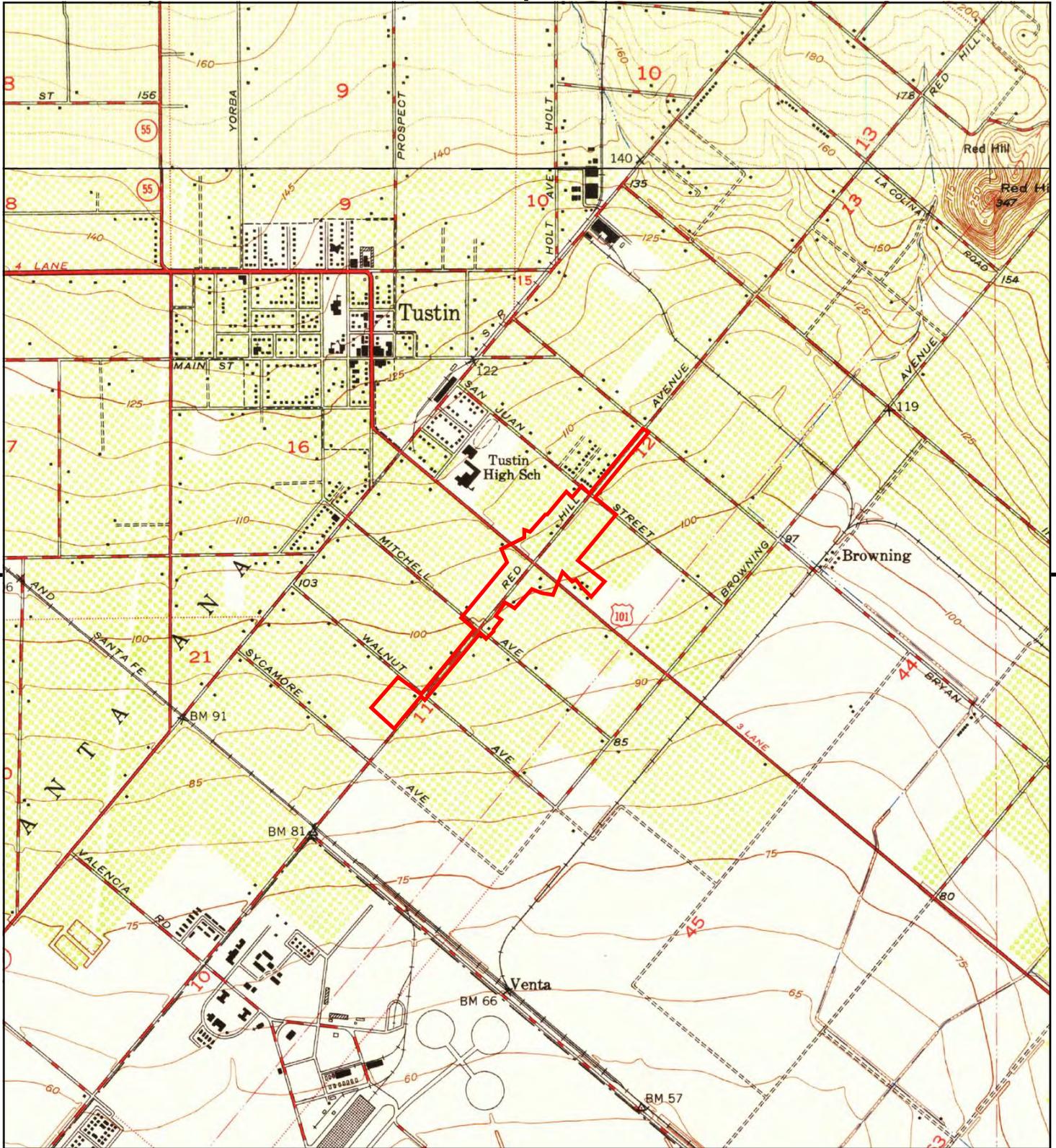
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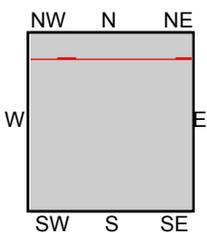
TP, Tustin, 1950, 7.5-minute
N, Orange, 1950, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





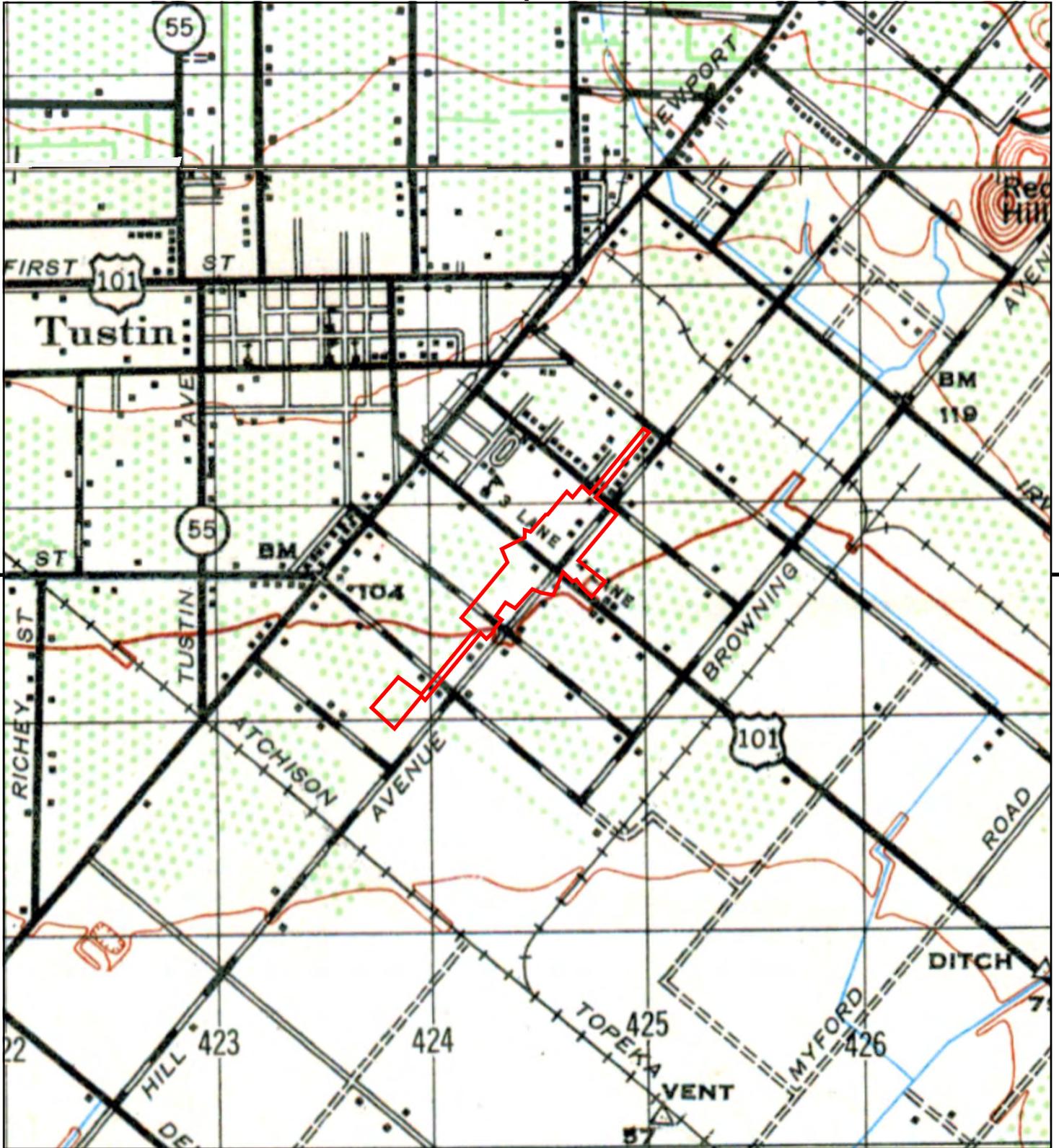
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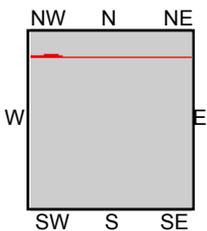
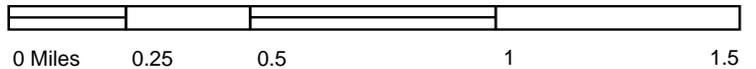
TP, Tustin, 1948, 7.5-minute
N, Orange, 1949, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





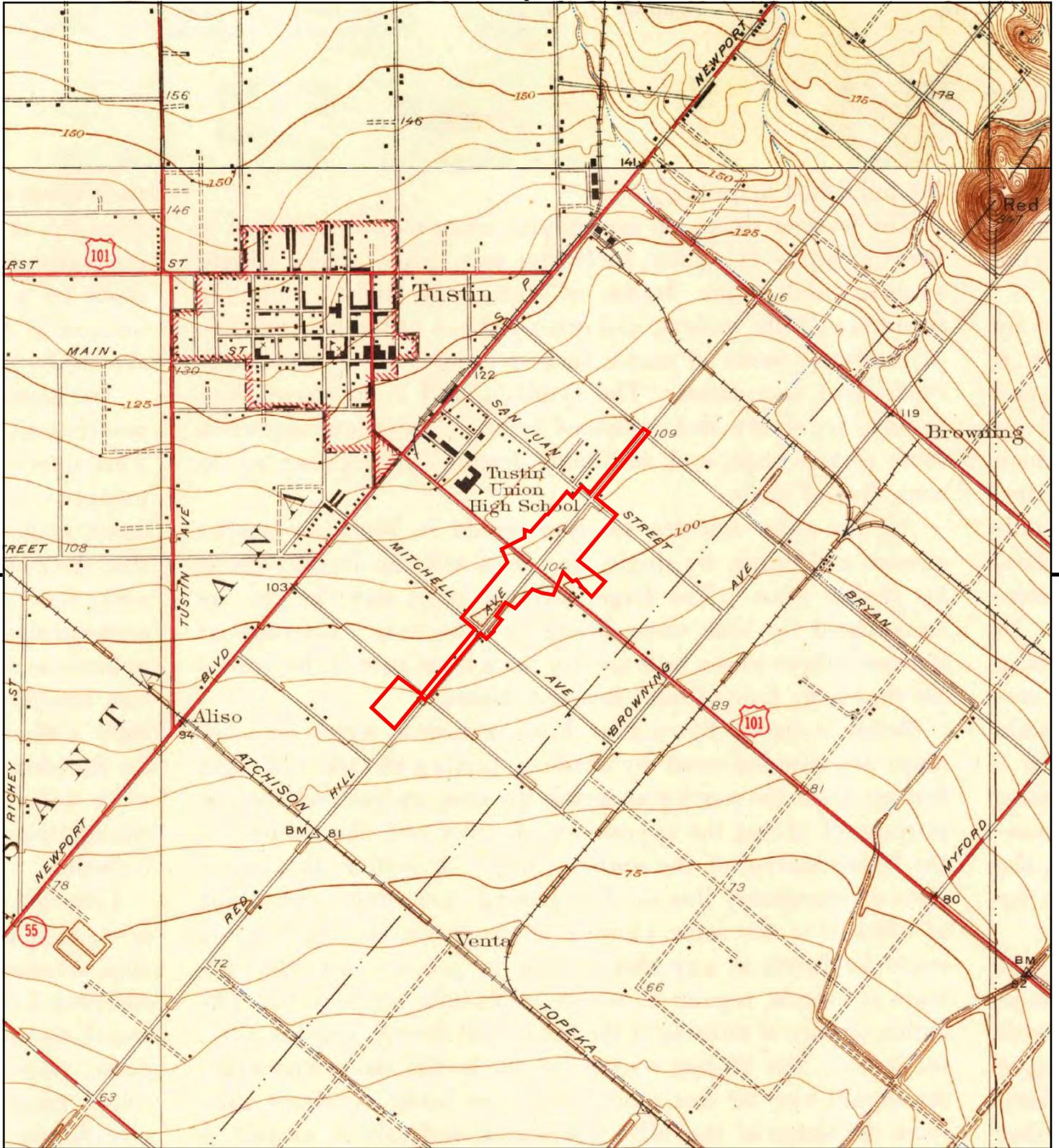
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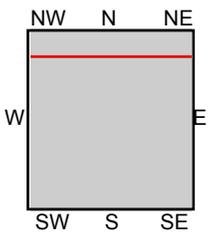
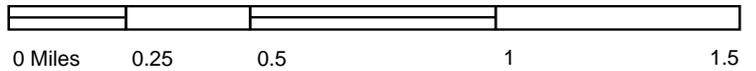
TP, SANTA ANA, 1942, 15-minute
N, ANAHEIM, 1942, 15-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





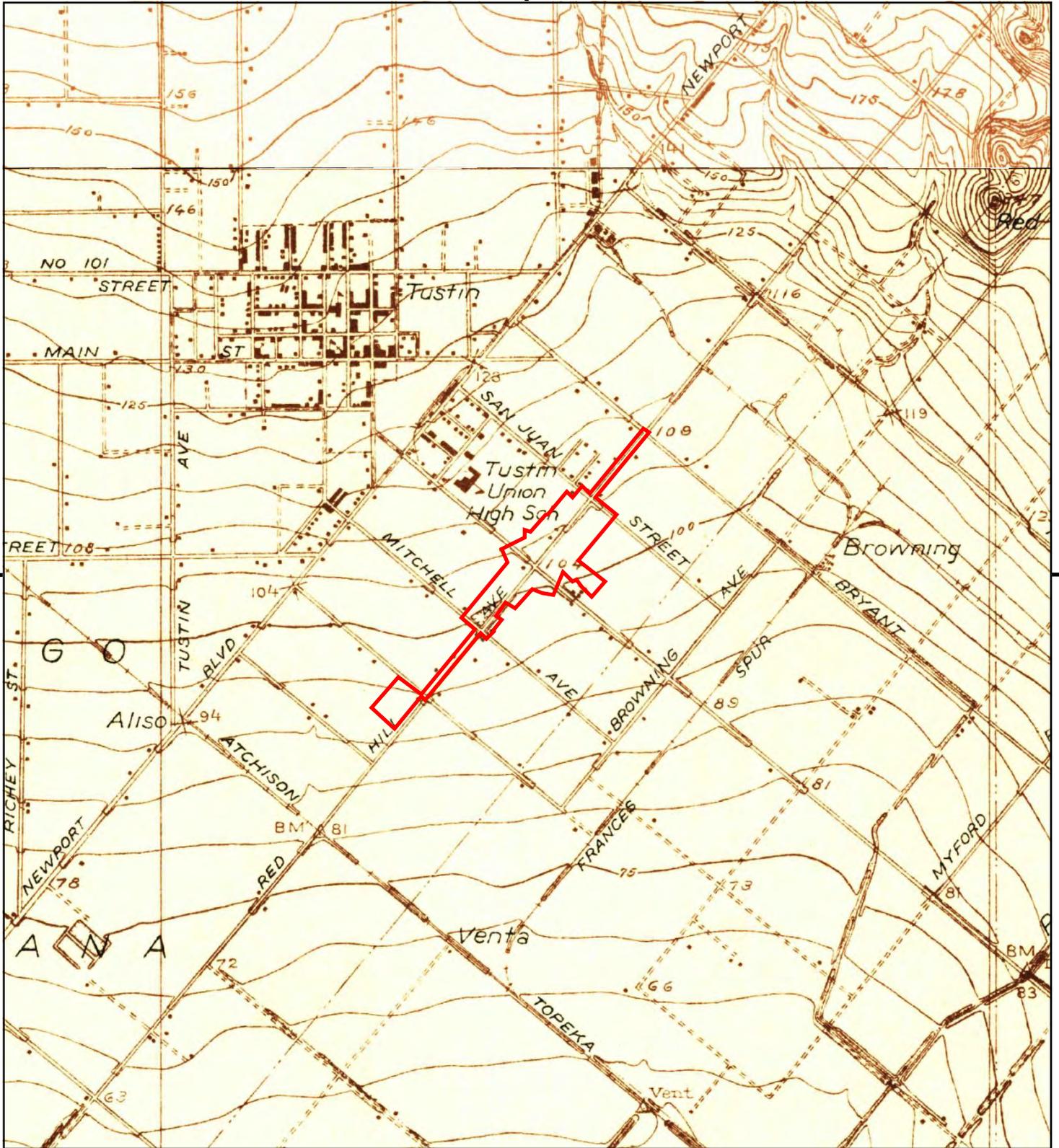
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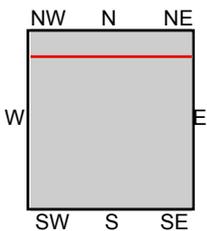
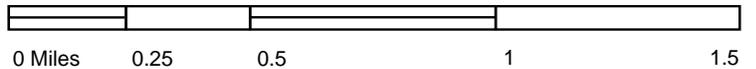
TP, Tustin, 1935, 7.5-minute
N, Orange, 1935, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





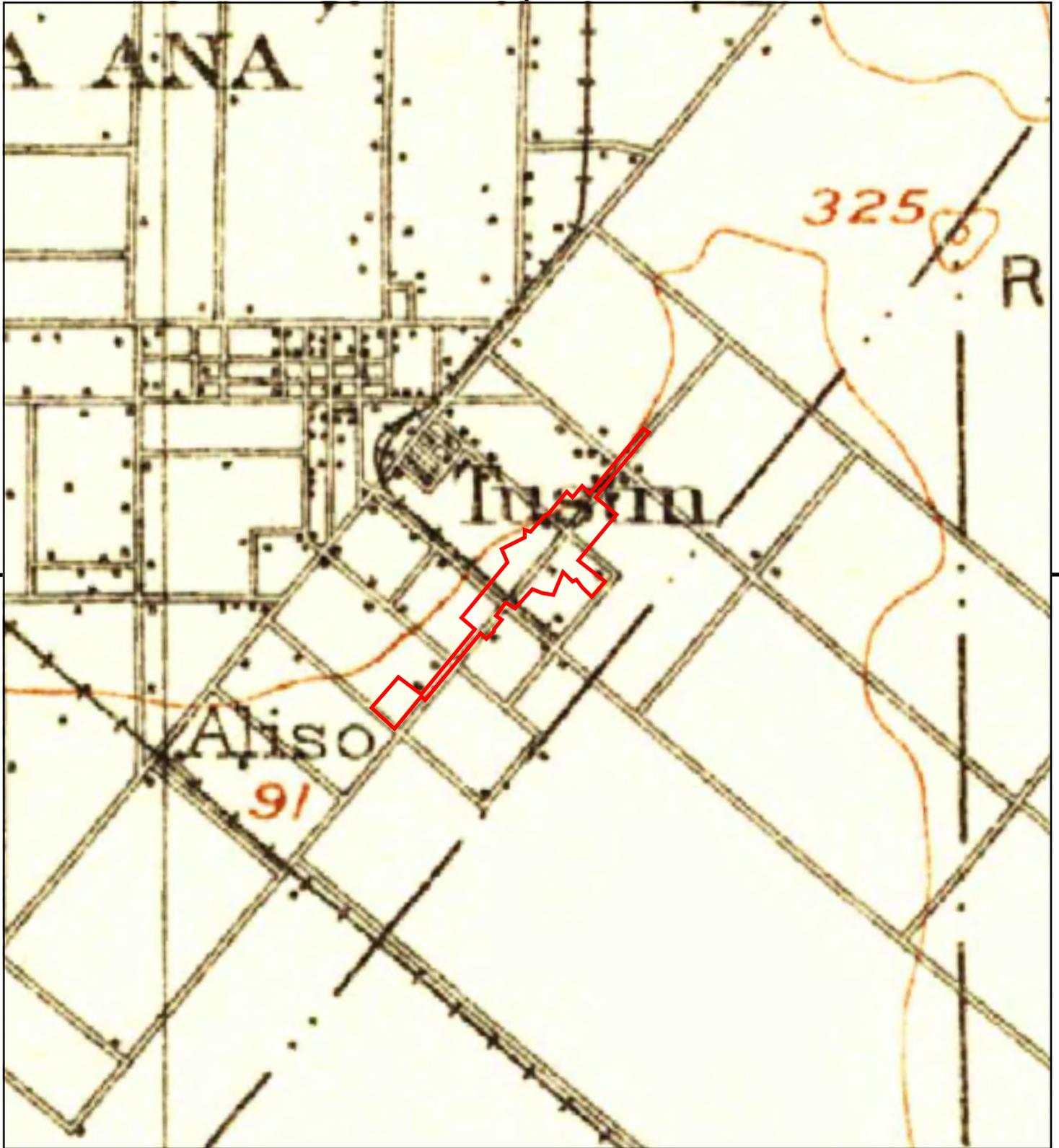
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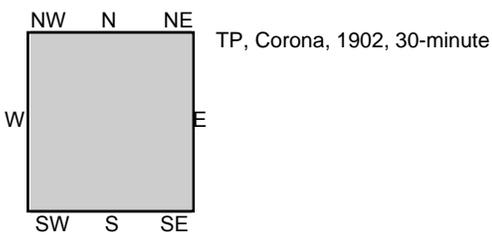
TP, Tustin, 1932, 7.5-minute
N, Orange, 1932, 7.5-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.



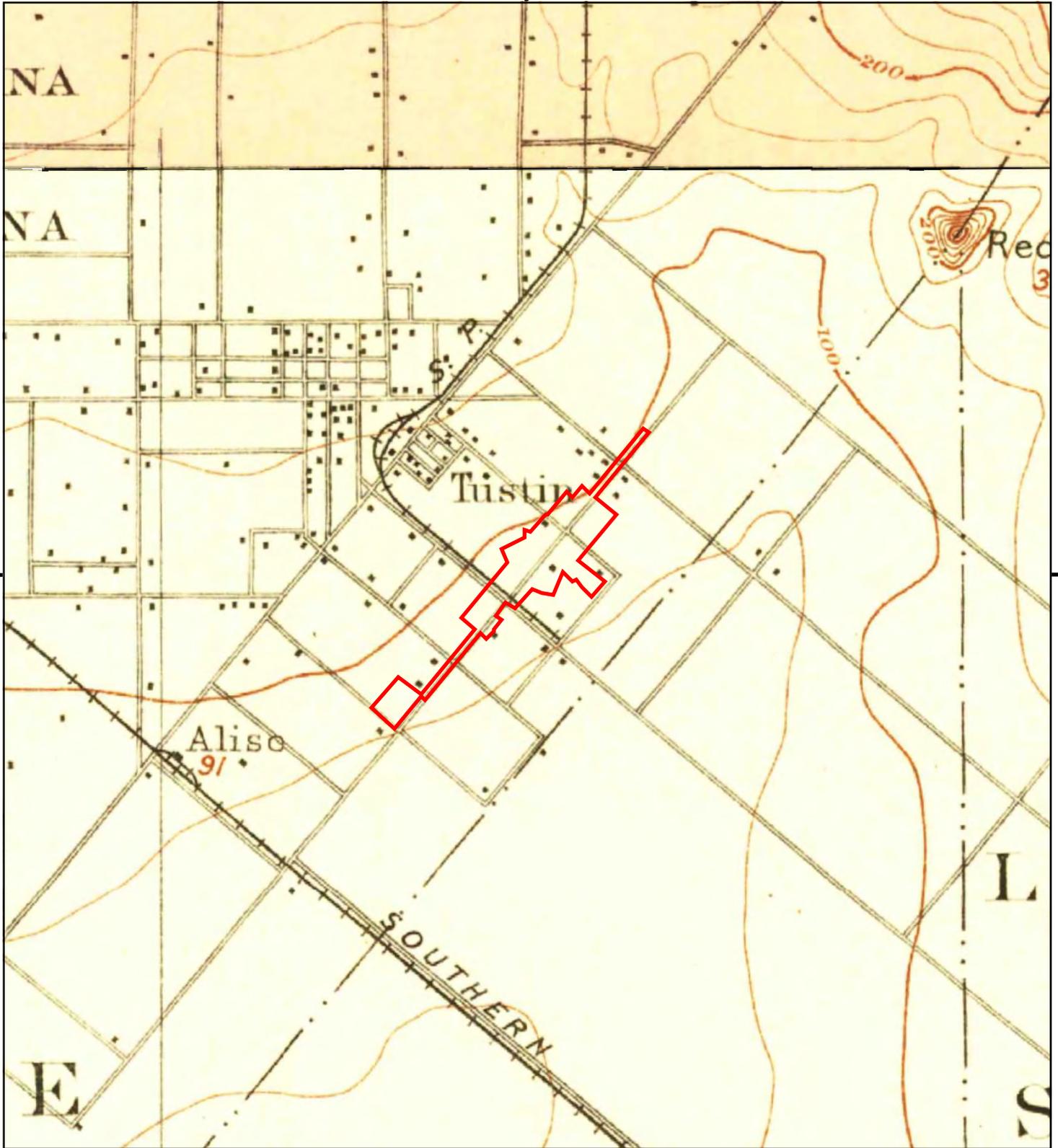


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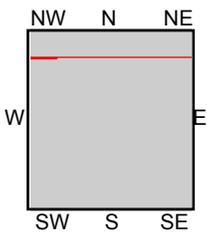
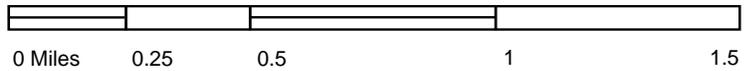


SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
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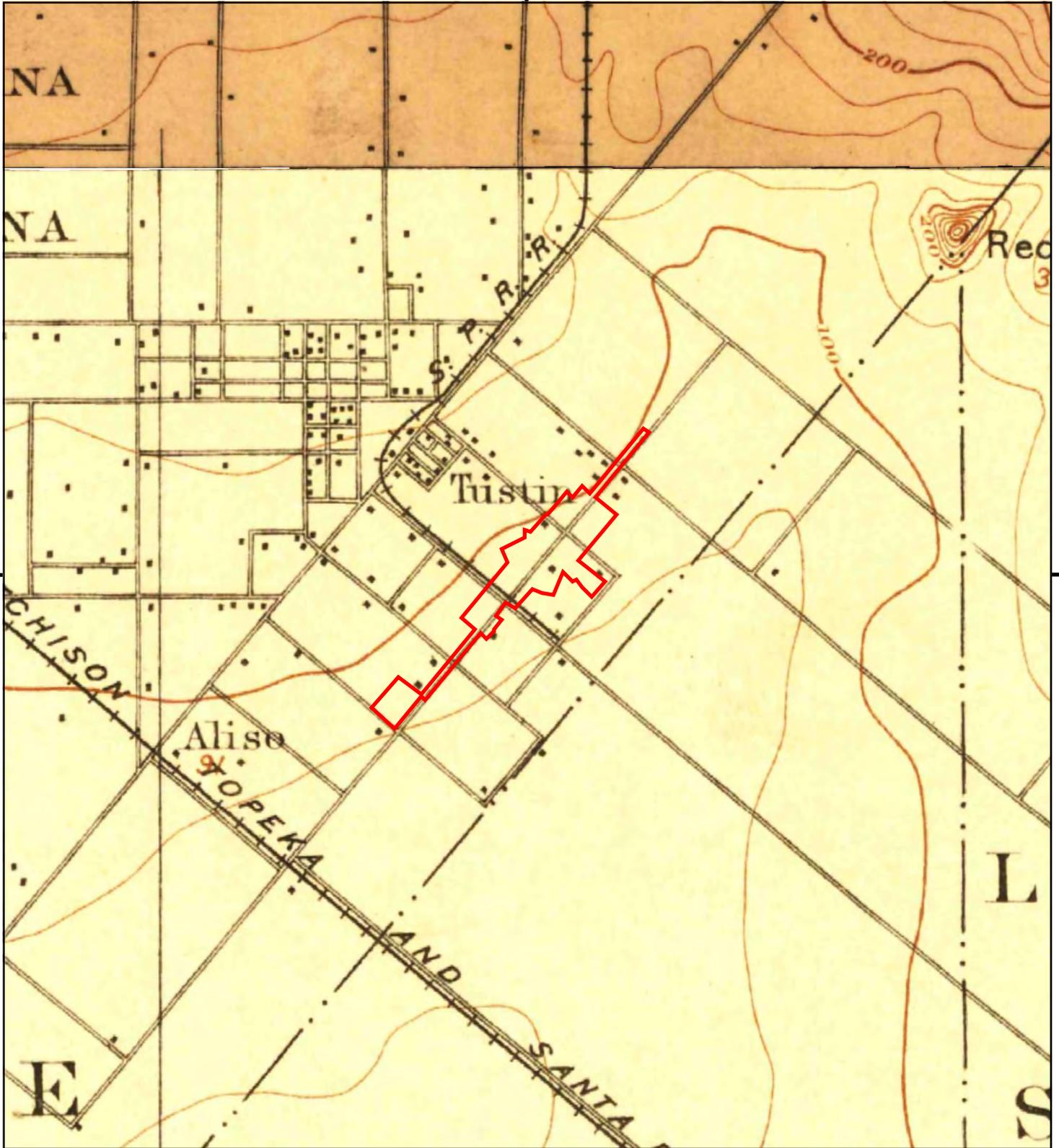
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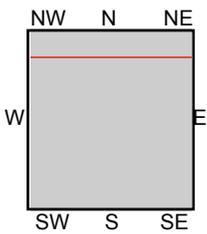
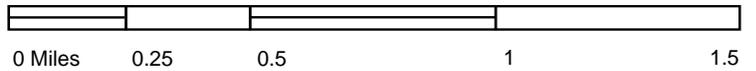
TP, Santa Ana, 1901, 15-minute
N, Anaheim, 1901, 15-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.





This report includes information from the following map sheet(s).



TP, Santa Ana, 1896, 15-minute
N, Anaheim, 1896, 15-minute

SITE NAME: Exhibit 1-2
ADDRESS: NA
Tustin, CA 92780
CLIENT: Kimley Horn & Associates, Inc.

