

ADOPTED APRIL 1, 2025



MULTIFAMILY & MIXED-USE OBJECTIVE DESIGN STANDARDS

CITY OF TUSTIN | CA

ACKNOWLEDGMENT

Prepared for:



Prepared by:



Adopted April 1, 2025 by City Council Resolution No. 25-03

TABLE OF CONTENTS

Chapter 1.	Purpose	6
	1.1 Introduction	7
	1.2 Who Is This Document For?	8
	1.3 Where Do these Standards Apply?	8
	1.4 Document Organization.....	9
	1.5 Administration	9
	1.6 Development Scale Definitions.....	10
Chapter 2.	Site Planning	11
	2.1 Site Size	12
	2.2 Site Layout.....	13
	2.3 Street Frontage	14
	2.4 Site Access	15
	2.5 Pedestrian Circulation.....	16
	2.6 Vehicular Circulation	18
	2.7 Vertical Mix of Uses.....	20
	2.8 Horizontal Mix of Uses	22
	2.9 Parking	23

TABLE OF CONTENTS

Chapter 3.	Open Space	26
	3.1 General.....	27
	3.2 Common Open Space	27
	3.3 Common Amenities.....	28
	3.4 Private Open Space.....	31
	3.5 Landscaping	33
	3.6 Privately-Owned Public Open Space	34
Chapter 4.	Mass and Scale	35
	4.1 Modulation.....	36
	4.2 Height Modulation.....	37
	4.3 Horizontal Modulation.....	41
	4.4 Transitional Massing	42
	4.6 Corner Elements	43
	4.7 Terminating Vistas	45
	4.8 Walkway Openings.....	46

TABLE OF CONTENTS

Chapter 5.	Materials and Details	47
	5.1 Materials	48
	5.2 Color and Texture	50
	5.3 Doors and Windows.....	52
Chapter 6.	Utilities, Services, Lighting, and Fences	53
	6.1 Mailboxes.....	54
	6.2 Refuse Storage	55
	6.3 Ground Mounted Utility Equipment	56
	6.4 Rooftop Equipment	57
	6.5 Outdoor Lighting	58
	6.6 Fences.....	59
Chapter 7.	Definitions	60

1.0

PURPOSE

1.1 Introduction

1.2 Who Is This Document For?

1.3 Where Do These Standards Apply?

1.4 Document Organization

1.5 Administration

1.6 Development Scale Definitions

1.1 INTRODUCTION

Development and design standards regulate development intensity, style, size, and orientation. Objective design standards (ODS) are measurable, verifiable, and quantifiable regulations that support consistent and thoughtful housing design throughout the City. The objective design standards in this document are intended to provide a predictable and equitable path for new housing in the City of Tustin.

The State of California continues to experience a housing crisis, and the availability of affordable housing remains a key issue. This document streamlines design review, increases transparency, and provides objective standards for housing development. Additionally, this document complies with Senate Bill (SB) 35 and SB 330, among other legislation, which requires jurisdictions to review new multifamily and mixed-use residential housing projects ministerially, using only objective design and development standards. These new laws prevent cities from denying approvals for certain multifamily housing projects based on discretionary design guidelines.

This document provides clear and useful standards for the design, construction, review, and approval of multi-family residential and mixed-use development in Tustin. With this document, applicants, developers, and City staff have a clear and concise reference for the City's minimum design expectations. These standards are written as minimum standards for site and structure design, but also offer various recommendations and guidelines for quality and character. It is important to clarify that these ODS regulations do not replace the City's existing development standards. Proposed projects must also comply with all applicable building permit requirements, zoning code requirements, and other development standards in the Tustin City Code.

Fundamentally, this document serves to provide baseline design standards for the City of Tustin. These standards may be expanded or revised by the City in the future. Additional design standards may be included to account for the distinct character of specific neighborhoods and communities in the City.

SB 35

- A streamlined approval process for housing projects with a specified amount of affordable housing.
- Applies to jurisdictions that haven't made enough progress in meeting their Regional Housing Needs Allocation (RHNA).
- Applications must be for infill sites and comply with existing General Plan or zoning provisions.
- Can only apply objective zoning, subdivision, or design review standards when determining consistency.
- <https://www.hcd.ca.gov/policy-research/docs/sb-35-guidelines-update-final.pdf>



1.2 WHO IS THIS DOCUMENT FOR?

Developers

The document will provide clear direction for sign renovation and new construction projects. An ODS checklist completed at time of project submittal will serve as a tool for the property owner, the designer/developer, and staff during the review process; it will also clarify the aspects of quality design.

Property Owners

This document gives property owners a clear understanding of the design elements that are required for development in Tustin. This document will work in conjunction with the General Plan and Tustin City Code, and will provide a clear set of minimum expectations and responsibilities.

City Staff

City staff will use this document to assist applicants and their representatives with project processing. The document and submitted checklist will serve as the minimum criteria for evaluating a proposed project's quality of design.

Review Bodies and Decision Makers

The document will provide a basis for the City of Tustin Planning Commission, City Council, Community Development Director, and other reviewing bodies to evaluate an application's quality of design, to ensure it meets minimum expectations.

1.3 WHERE DO THESE STANDARDS APPLY?

These standards apply to new construction for multi-family and mixed-use developments as well as substantive renovations or structural alterations of such buildings (i.e., when 50 percent or more of the exterior walls or roof are demolished as part of the renovation) on a single lot. These standards shall also apply to residential condominium projects containing multiple dwellings on a single lot, regardless of whether the dwellings are single-family or duplex structures.

For developments spanning multiple lots, these standards apply to all lots, including any associated amenities, open space, or utilities that would serve multi-family, mixed-use, or condominium units.

Except for projects that are processed under State-mandated ministerial review (i.e., "State qualifying ministerial projects"), these standards are not intended to apply to properties that include a designated historic structure and/or resource, or include a contributing property within a designated historic district. Such sites/parcels should be reviewed under applicable historic resource design standards and guidelines.

These standards do not apply to the new construction or renovation of single-family dwellings that are not a condominium subdivision.

These standards do not apply to minor renovations and routine maintenance of residential developments (single-family, multi-family, and mixed-use).

These standards are in addition to the development standards of the underlying base zone. In the event of conflicting standards between these standards and the base zone, the more restrictive objective standard shall apply. For projects in a Specific Plan or Planned Community, the objective standards of the Specific Plan or Planned Community shall take precedence in the event of a conflict with these standards.

Proposed projects must also comply with the all other applicable local and state ordinances and codes.



1.4 DOCUMENT ORGANIZATION

These objective design standards serve as a stand-alone illustrated document, authorized by reference within Tustin's City Code and applicable specific plans. These regulations have been designed in a modular fashion, with different sets of standards applying to projects of different scales. For instance, a small development would be subject to less complex standards, while a larger project would be subject to more intensive standards.

This document is organized in a site-focused manner. Key site development standards are discussed at the beginning of the document. These include site access, building orientation, pedestrian and vehicular circulation, mixing of uses, and parking. Open space standards for both common and private open space follow.

The organization is intended to ensure that the design of the buildings starts with a site planning assessment. With regard to buildings, these objective design standards focus on height modulation, horizontal modulation, transitional massing, and a building's materials and details. Finally, objective design standards touch on other important but more detail-oriented elements of a project. These include utilities, lighting, and fencing.

Fundamentally, this document is intended to illustrate and apply best practices in site and architectural design for all areas of the City. Specific architectural styles are not referenced in this document, as the architecture in the City is not homogeneous, but each neighborhood reflects different characteristics. Nonetheless, it is anticipated that neighborhood level design studies will be conducted in the future, and neighborhood level objective design standards can be created and incorporated into this ODS document.

1.5 ADMINISTRATION

The Community Development Department shall be responsible for the administration of these objective design standards. If ambiguity arises concerning the meaning or appropriate application of provisions of these objective design standards, the Community Development Director shall make the appropriate determination. The Director's determination may be appealed to the Planning Commission, pursuant to Tustin City Code § 9294.

1.5.1 DEVIATIONS

The objective design standards apply to residential projects that, pursuant to State law, qualify for City review for compliance using only objective standards. This includes "housing development projects" as defined in Government Code § 65589.5(h)(2).

- Compliance is Optional. Applicants may choose to not apply the Objective Design Standards to their project, including those projects that qualify under State law for objective review. In such cases, the project will be processed using the City's discretionary review process as outlined in the Tustin Municipal Code. This voluntary choice removes the project from applicable provisions of the Housing Accountability Act.
- Deviations. Deviations to the Objective Design Standards are allowed pursuant to a qualifying State Density Bonus Law request for development standard waivers, concessions, or incentives (Government Code Section 65915); and reductions approved by Variance or Minor Adjustment application, pursuant to Tustin City Code §§ 9292 and 9299, respectively.



1.6 DEVELOPMENT SCALE DEFINITIONS

Development occurs at various scales and intensities and therefore requires variations to ensure that standards are both appropriate and do not create unnecessary constraints or unachievable development. This section defines the different scales of development, and how to use this document for each.

In the event that a project includes criteria falling under two or more development scales, the project will be subject to the standards associated with the greater scale. For example, if a project is 3 stories and proposes 30 dwelling units, it would be classified as Medium Development. Alternatively, if a project is situated on 1.8 acres and proposes 108 dwelling units, it would be classified as Large Development.

	Small	Medium	Large
Site Size	Under 0.5 acres and	0.5–2 acres or	Larger than 2 acres or
Unit Count	2–25 units and	26–100 units	100+ units
Height	Up to 3 stories	n/a	n/a

Standard		Small	Medium	Large
Site Planning	Site Size			X
	Site Layout	X	X	X
	Street Frontage	X	X	X
	Site Access	X	X	X
	Pedestrian Circulation	X	X	X
	Vehicular Circulation	X	X	X
	Vertical Mix of Uses	X	X	X
	Horizontal Mix of Uses		X	X
	Parking	X	X	X
Open Space	General	X	X	X
	Common Open Space		X	X
	Common Amenities		X	X
	Private Open Space	X	X	X
	Landscaping	X	X	X
	Privately Owned Public Open Space		X	X
Mass and Scale	Modulation	X	X	X
	Height Modulation	X	X	X
	Horizontal Modulation		X	X
	Transitional Massing		X	X
	Corner Elements		X	X
	Terminating Vistas		X	X
	Walkway Openings		X	X
Materials & Details		X	X	X
Utilities, Services, Lighting, & Fences		X	X	X

2.0 SITE PLANNING

- 2.1 Site Size
 - 2.2 Site Layout
 - 2.3 Street Frontage
 - 2.4 Site Access
 - 2.5 Pedestrian Circulation
 - 2.6 Vehicular Circulation
 - 2.7 Vertical Mix of Uses
 - 2.8 Horizontal Mix of Uses
 - 2.9 Parking
- 



2.1 SITE SIZE

- a. New development on parcels or aggregate sites larger than three acres in size shall be divided into multiple building pads. Such a division may be achieved by one or more of the following methods:
 - i. Legal subdivision of the property; or
 - ii. Division by a public street(s); or
 - iii. Division by a private or public alley(s); or
 - iv. Division by a private street(s); or
 - v. Division by common court(s) or;
 - vi. Division by auto court(s); or
 - vii. Division by a private driveway(s); or
 - viii. Division by a publicly accessible pedestrian paseo, subject to the requirements of Section 2.5.2.
- b. Alignment of streets, driveways, and/or pedestrian paseos shall, where applicable, extend existing street grid into the subject site.
- c. Legal subdivision of property shall conform with the Tustin Municipal Code.
- d. All new public streets shall be improved with curbs, gutters, sidewalks, and street trees per the Tustin Municipal Code.
- e. All new private streets, common courts, auto courts, and alleys shall conform with Section 2.6.

2.2 SITE LAYOUT

a. Street Wall.

- i. All buildings adjacent to a public street (meaning there are no additional buildings between the street and the proposed building) with a right-of-way one hundred feet and under shall maintain a continuous “street wall,” formed by the edge of the building, for a minimum of 70 percent of the building site frontage adjacent to the street.
- ii. All buildings adjacent to a public street with a right-of-way greater than one hundred feet shall maintain a “street wall” formed by the edge of the building, for a minimum of 50 percent of the building site frontage adjacent to the street.

b. Curvilinear Streets. When a building site is adjacent to a public street which curves fifteen degrees or more along its frontage, the following standards apply:

- i. All buildings adjacent to a public street and with a street-facing length less than two hundred and fifty feet shall be parallel with the street at the building’s midpoint.
- ii. All buildings adjacent to a public street and with a street-facing length of two hundred and fifty feet or more shall be parallel with the street at 2 or 3 points along the building’s frontage, spaced no less than one hundred feet apart.

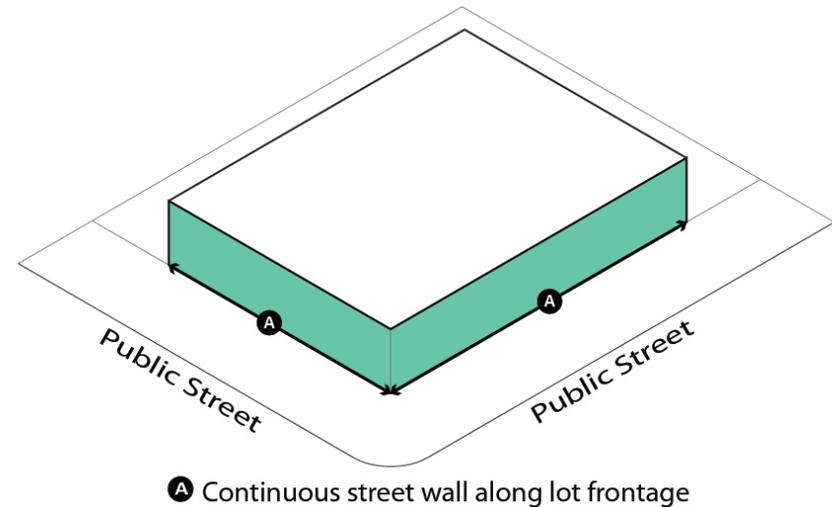


Figure 2.1. Continuous Street Wall

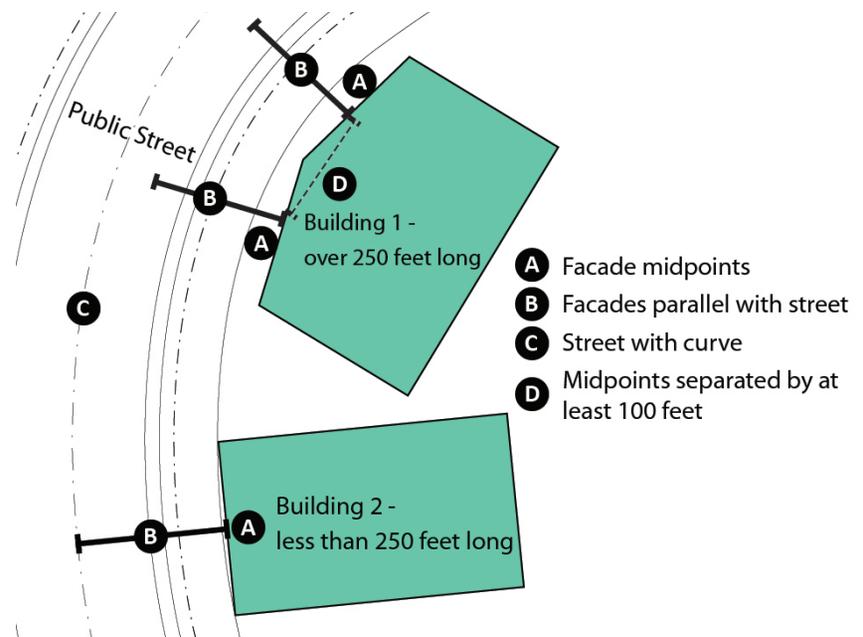


Figure 2.2: Curvilinear Streets

2.3 STREET FRONTAGE

- a. Primary ground-floor common entries or individual dwelling unit entries shall be oriented toward the primary street on streets with a right-of-way of one hundred feet or less.
- b. Individual dwelling unit entries are prohibited from being oriented toward streets with a right-of-way greater than one hundred feet unless the entries are set back at least 25 feet from the street curb face. The 25-foot setback for individual units may be reduced to 15 feet if two of the criteria in subsection “d” below are applied to the individual unit.
- c. On streets with a right-of-way one hundred feet or less, buildings shall provide at least one of the following:
 - i. Pedestrian level articulation using high quality materials (as defined in Definitions, at the end of this document).
 - ii. Ground-floor activation through leasing office, common space, gym/recreation room, etc.
 - iii. Common entrances at building corners (refer to Section 4.6, Corner Elements).
- d. When individual dwelling unit entries are oriented toward a street, or take direct access from a street, dwelling unit entries shall include at least one of the following:
 - i. Be accessed through a courtyard with a minimum area of 500 square feet with a minimum dimension of 20 feet in each direction, located between the unit entries and the sidewalk.
 - ii. Provide a minimum elevation change of 2 feet from a public sidewalk grade to finished entry floor.
 - iii. Provide an entry patio, porch, or stoop, with enclosure walls and/ or railing.

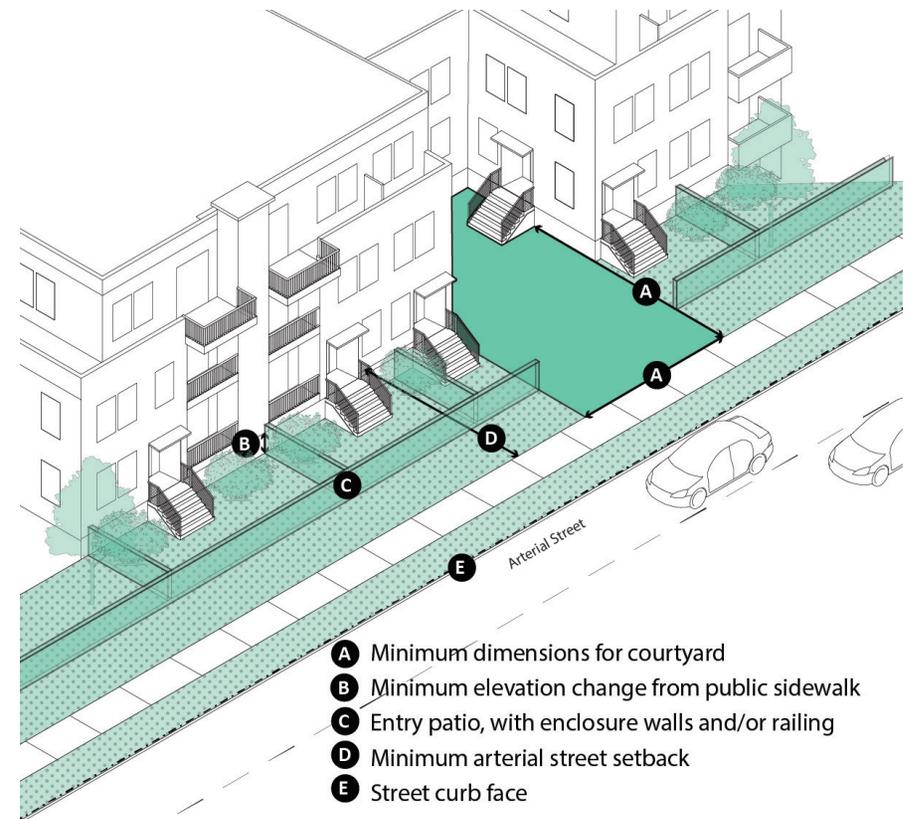


Figure 2.3. Buildings with unit entries fronting an arterial street

2.4 SITE ACCESS

- a. Maximum number of driveways:
 - i. A maximum of one vehicular access point from a public street into a site is permitted for each two hundred feet of street frontage, or greater fraction (>100 feet) thereof.
 - ii. Sites with two or more driveways shall place all driveways connecting a public street at least 200 feet apart from one another; 20 feet from adjacent lot lines, unless an approved shared drive with the adjacent lot is provided; and at least 100 feet from street intersections. The Community & Economic Development Director may approve deviations in the driveway locations when it is shown that it does not create a current or future traffic hazard.
 - iii. Drop-off and loading areas which do not provide vehicular access into the site itself do not count as a driveway for the purpose of this section.
- b. Pedestrian entrances and circulation shall be adequately separated from vehicular traffic. Pedestrian entrances shall be clearly identified and easily accessible to minimize pedestrian/vehicle conflict.
- c. Where an intersection of pedestrian and vehicle access exists, enhanced paving treatment using patterned and/or colored pavers, brick, decorative colored concrete, stamped concrete, or permeable materials shall be used.

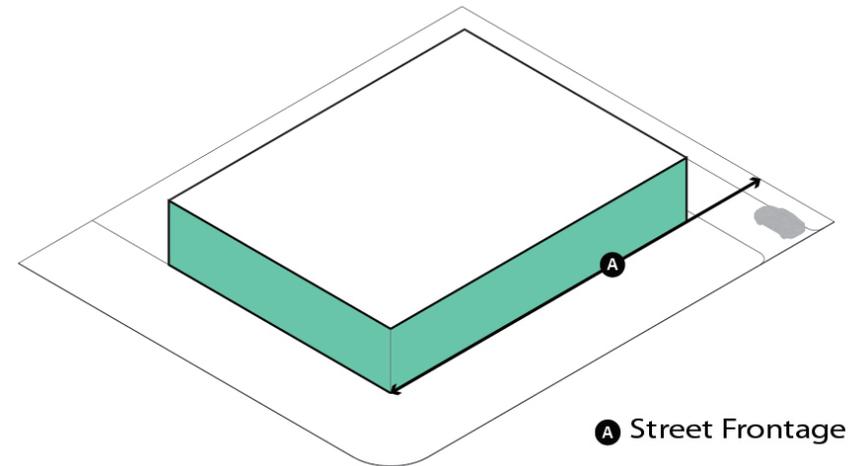


Figure 2.4. Vehicular Access

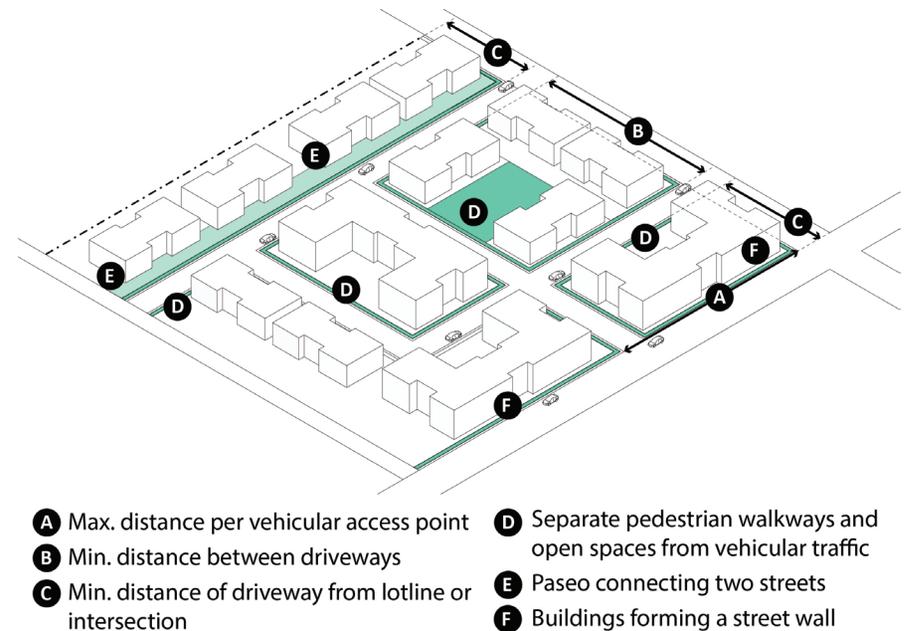


Figure 2.5. Site Access

2.5 PEDESTRIAN CIRCULATION

2.5.1 PEDESTRIAN CONNECTION

- a. The following pedestrian walkways shall be provided and interconnected within the site:
 - i. Pedestrian walkways shall connect residential dwelling units to areas throughout the site, such as vehicle parking areas, bicycle parking areas, common open space(s), waste and recycling enclosures, mailboxes, and other amenities.
 - ii. Pedestrian walkways shall connect public sidewalks, building entrances, and vehicle parking areas, including auto courts and common courts.
 - iii. Pedestrian crossings bisecting vehicle access shall feature enhanced paving with a minimum width of six feet and span the length of the intersecting drive area.

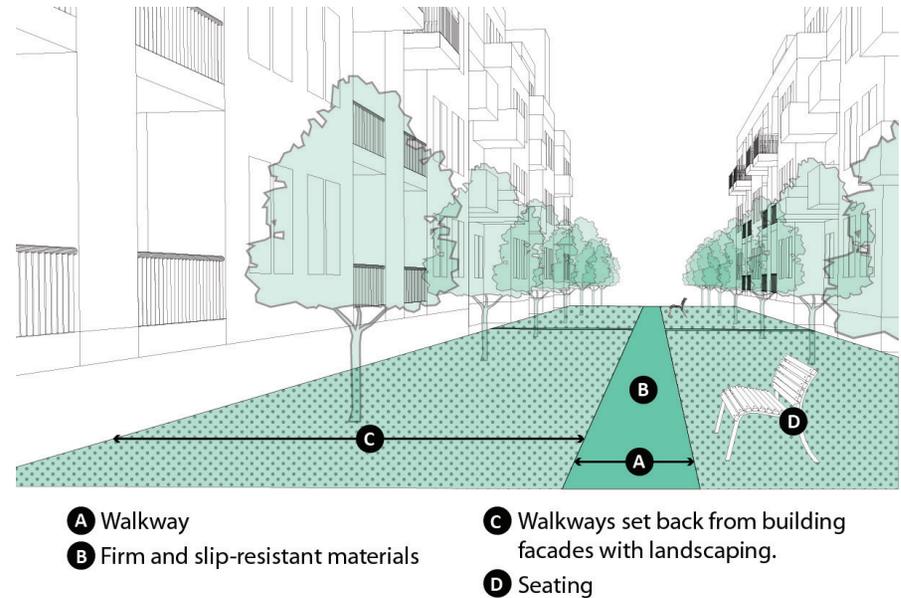


Figure 2.6. Pedestrian Walkways



Figure 2.7. Enhanced Paving

2.5.2 PEDESTRIAN PASEOS AND WALKWAYS

- a. Through lots on sites greater than 0.5 acres shall provide a publicly accessible paseo connecting the two streets.
 - i. Paseos shall be physically and visually accessible from the public sidewalk and must connect a public street with at least one different public street, alley, or adjacent paseo.
 - ii. Paseos must have a minimum 8-foot-wide travel path with no obstructions.
- b. Pedestrian walkways on private property shall be designed as follows:
 - i. Walkways shall be a minimum of 4 feet wide with no obstructions.
 - ii. Walkways shall be constructed of firm and slip-resistant materials, such as poured-in-place concrete (including stamped concrete), permeable paving, or concrete pavers.
 - iii. Walkways shall be set back a minimum of 5 feet from building facades. The setback area shall be landscaped.
 - iv. Walkways shall provide 4 feet of seating for every one hundred fifty feet of continuous pathways or walkways, or portion thereof. This shall not apply for walkways shorter than one hundred fifty feet.

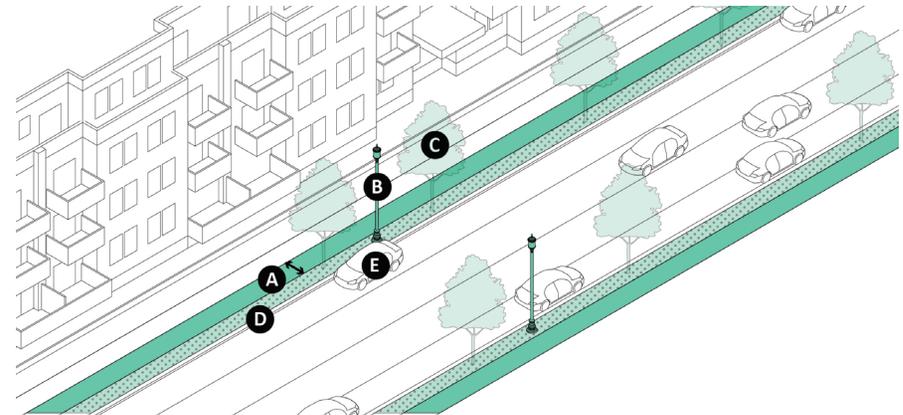


Figure 2.8. Example Seating

2.6 VEHICULAR CIRCULATION

2.6.1 PRIVATE STREETS

- a. Private streets are internal streets with a pedestrian-oriented sidewalk condition with streetlights, street trees, and curbs.
 - i. Private streets shall have a sidewalk with a minimum width of 4 feet on at least one side of the street. The sidewalk must provide pedestrian streetlights, street trees, and curbs. The sidewalk shall comply with the Americans with Disabilities Act (ADA).
 - ii. Parallel parking is permitted along private streets.

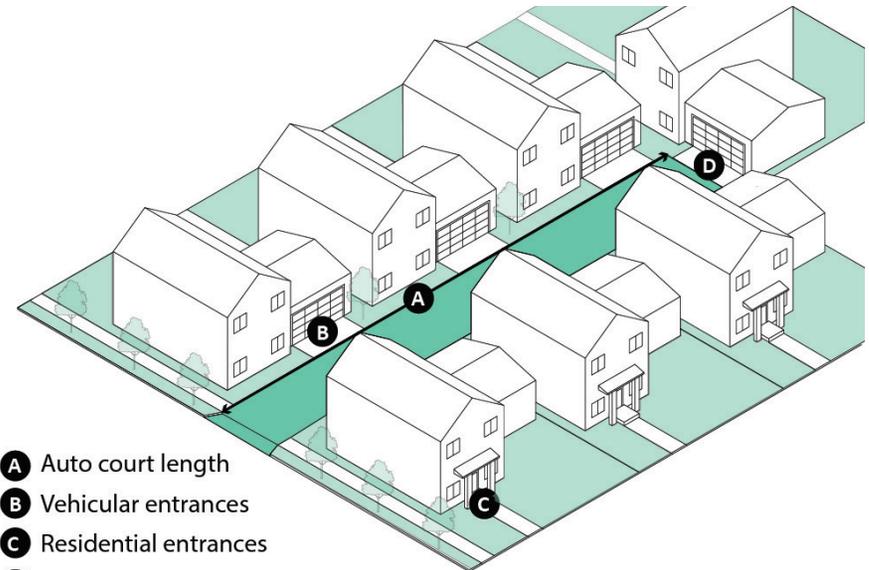


- A** Sidewalk width
- B** Pedestrian streetlights
- C** Street trees
- D** Curbs
- E** Parallel parking along private streets

Figure 2.9. Private Streets

2.6.2 AUTO COURTS

- a. Auto courts provide vehicular access to multiple residences via a common driveway fronted with garages. Front doors to residences are not permitted on auto courts.
 - i. Auto courts shall not exceed 150 feet in length.
 - ii. Auto courts shall not serve more than 12 individual residences.
 - iii. Primary pedestrian entrances are not permitted on auto courts.
 - iv. Auto courts shall have no through street access.

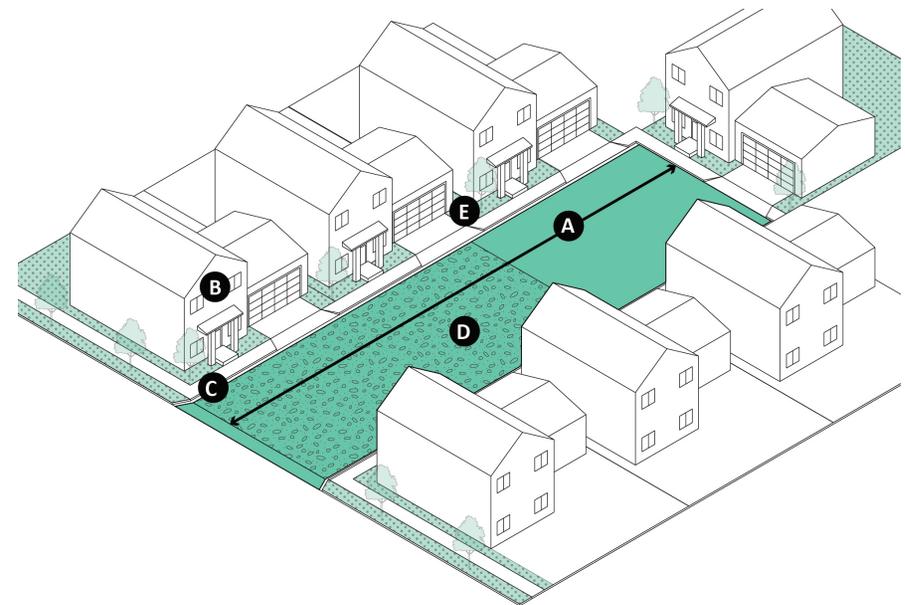


- A** Auto court length
- B** Vehicular entrances
- C** Residential entrances
- D** No through vehicular access

Figure 2.10. Auto Courts

2.6.3 COMMON COURTS

- a. Common courts provide both vehicular and pedestrian access to multiple residences. Front doors to residences and garages open to common courts.
 - i. Common courts shall not exceed 150 feet in length, unless provided with a connecting pedestrian access way.
 - ii. Common courts shall not serve more than 8 individual residences, unless provided with a connecting pedestrian access way.
 - iii. Common courts shall be elevated a minimum of 6 inches from street-level traffic.
 - iv. A minimum of 50 percent of the paving shall be enhanced paving, such as patterned and/or colored pavers, brick, decorative colored concrete, stamped concrete, or permeable materials.
 - v. A minimum of 5 percent of the common court shall be landscaped.



- A** Common court length
- B** Individual residences
- C** Common courts elevated from street-level traffic
- D** Enhanced paving
- E** Landscaping

Figure 2.11. Common Courts

2.7 VERTICAL MIX OF USES

These provisions only apply to buildings featuring a vertical mix of uses, where both residential and non-residential uses (such as retail, restaurant, office, and other commercial uses) are located in the same building. For projects with multiple buildings, these provisions would not apply to those buildings solely dedicated for residential or commercial use (refer to Section 2.7, Horizontal Mix of Uses).

2.7.1 DISTRIBUTION OF USES

- a. A minimum of 50 percent of a vertical mixed-use building's non-residential components shall be on the ground floor, such as offices, retail, restaurant, or other commercial uses. This provision does not apply to resident-serving amenities or utilities and infrastructure serving the residential component of a vertical mixed-use building.
- b. A maximum of 30 percent of a vertical mixed-use building's residential units may be on the ground floor.

2.7.2 BUILDING DESIGN

- a. Service entries, loading areas, and trash areas associated with commercial uses shall not be immediately adjacent to residential uses.
- b. Live/work units shall feature commercial/office/maker spaces on the ground floor fronting the street, with residential components located either behind or above the workspace.

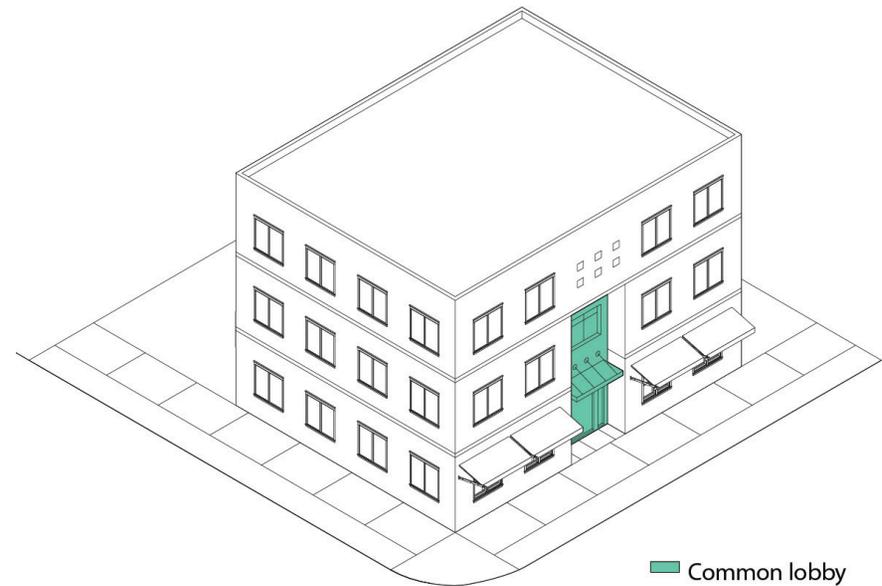


Figure 2.12. Common Lobby

2.7.3 ENTRANCES

- a. There shall be at least one ground-floor pedestrian entrance to either a commercial, residential, amenity, parking, or open space use for every 100 feet of the building's street-facing frontages. These entrances may be clustered along certain areas of the frontage in order to better activate key frontages.
- b. Entrances to upper floor uses shall be provided through a common lobby entrance and/or by a common entrance along a façade fronting a street.
- c. All ground-floor commercial tenant spaces with street frontage shall feature entrances on a façade fronting a street, pedestrian thoroughfare, or paseo.

2.7.4 COMMERCIAL SPACES

Ground-floor commercial tenant spaces shall feature at least three of the following features:

- a. Contrasting colors and materials at every tenant entrance, such as crown molding or decorative trim.
- b. Projecting non-fabric awnings or canopies at every tenant entrance.
- c. Special exterior architectural elements at tenant entrances, such as flanking columns, overhanging roofs, porticos, or other features.
- d. Bay windows at least 8 feet in width and 3 feet in depth to either side of a tenant entrance, or one bay window at least 12 feet in width and 3 feet in depth to one side of a tenant entrance.
- e. Variation in building mass at a tenant entrance, projecting at least 5 feet from the main building façade, and extending 25 feet in width.
- f. Variation in building mass at tenant entrances, such as a recess between 2 to 5 feet in depth from the building façade and at least 10 feet in width where flush with the main building façade, angling inward as appropriate.
- g. Variation in building mass at tenant entrances, such as a minimum 3-foot projection from the building façade, which is at least 3 feet in width to either side of the entryway and 3 feet in height above the ground-floor ceiling.
- h. Special corner building entryway treatments (Refer to Section 4.6, Corner Elements).

2.8 HORIZONTAL MIX OF USES

These provisions only apply to sites featuring a horizontal mix of uses, where both residential and non-residential uses (such as retail, restaurant, office, and other commercial uses) are on the same building site, lot, or parcel.

2.8.1 SITE PLANNING

- a. Commercial buildings shall face public streets and engage the sidewalk.
- b. Residential uses shall be located at the rear or sides of the site.
- c. Parking for commercial uses shall be located at the center of the site, allowing the parking to provide a buffer from on-site residential uses and maximize shared parking opportunities between residential and commercial uses.
- d. If provided, dedicated private residential parking areas shall be located away from public commercial parking with a dedicated entrance.
- e. The commercial, residential, and open space areas of a horizontal mixed-use project shall be connected via internal pathways.
- f. Common residential open space as part of a horizontal mixed-use project shall not be publicly accessible.

2.8.2 BUILDING DESIGN

- a. Service entries, loading areas, and trash areas associated with commercial uses shall not be immediately adjacent to residential uses.
- b. The windows, doors, and other access points of commercial uses shall be oriented so as not to have a direct line-of-sight into residential uses when less than 100 feet away.

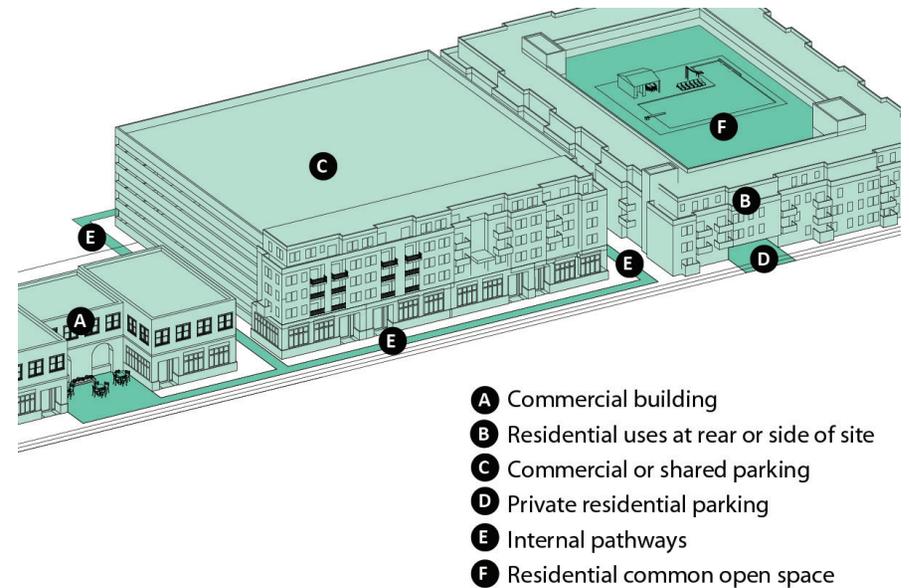


Figure 2.13. Horizontal Mix of Uses

2.9 PARKING

2.9.1 SURFACE PARKING

- a. Landscaping standards for parking lots shall conform with Tustin City Code § 9266(e), Development Standards for Off Street Parking, Landscaping.
- b. Parking shall be located to the rear or side of the primary building. There shall be no vehicular parking between building fronts and the public right-of-way. This standard shall not apply to corner lots or lots smaller than 0.5 acre.
- c. Carports.
 - i. The rear and side walls of a carport shall feature the same colors and materials of the primary buildings.
 - ii. The covering of a carport shall feature the same roofing materials of the primary building.



Figure 2.14. Example Carport

2.9.2 STRUCTURED PARKING

- a. A minimum 5-foot landscaped setback, or greater when required by the Tustin Municipal Code or Specific Plan, shall be provided on all exposed sides of the parking structure except where ground-floor retail space is provided or when the parking is wrapped by a multifamily, commercial, or mixed-use structure, thus shielded from public view. Landscaping must provide adequate facilities to ensure proper watering and maintenance.
- b. Ramps within the structure must be screened by spandrels or architectural treatments that create a level appearance from the exterior.
- c. Vehicular and pedestrian entrances must be distinctly marked with signage and differentiated by color and/or material treatments that:
 - i. Contrast with the primary façade of the parking structure,
 - ii. Utilize the architectural elements of the adjacent buildings served by the parking structure, and
 - iii. Project at least 1 foot from the primary façade.
- d. For public safety purposes, the interior walls of a parking garage shall be painted a white color and treated with anti-graffiti coating, or similar.



Figure 2.15. Example Parking Structure

- e. The parking structure must provide design details to reduce a monolithic appearance for all street-facing facades. This must include, at minimum, two of the following methods:
- i. Facades incorporating alternating covered and uncovered walls, with at least 30 feet of covered façade per 60 feet of open façade.
 - ii. Vertical landscaping treatments that cover at least 50 percent of the covered façade's surface.
 - iii. Covered elevator shafts which project at least 5 feet from the edge of the ground level of the parking structure.
 - iv. Covered stairwells which project at least 5 feet from the edge of the parking structure.
 - v. Including ground-floor active uses comprising at least 50 percent of the façade length facing pedestrian thoroughfares, such as sidewalks or paseos.
 - vi. When ground-floor active uses are provided, setting back the primary mass of the parking structure at least 10 feet from the ground-floor façade.

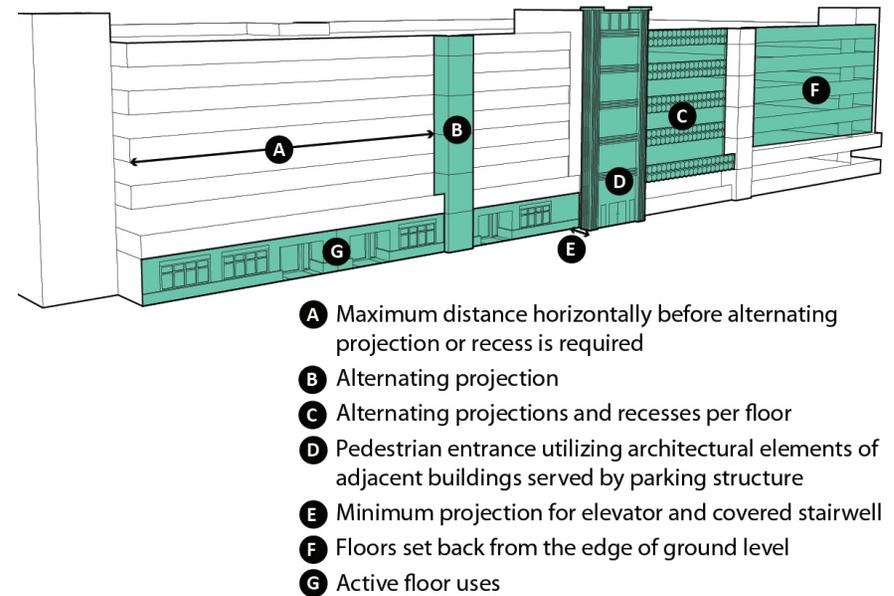


Figure 2.16. Parking Structure

3.0 OPEN SPACE

3.1 General

3.2 Common Open Space

3.3 Common Amenities

3.4 Private Open Space

3.5 Landscaping

3.6 Privately Owned Public Open Space

3.1 GENERAL

Open space shall follow the provisions and requirements set forth in the Tustin Municipal Code, and the following shall apply.

3.2 COMMON OPEN SPACE

Common open spaces may be located on roofs, upper levels, parking podiums, at grade, or on the ground floor. If common open space is provided, it shall conform with the following standards:

- a. Dimensions. Common open space shall have a minimum area of 225 square feet with a minimum dimension of 15 feet in each direction.
- b. Distribution. No more than 30 percent of common open space shall be provided in an enclosed structure with both roof and walls, or a conditioned space. Interior recreation space shall have a minimum floor to ceiling height of 12 feet and have at least one glazed exterior wall.
- c. Location. Every unit shall be located within a 0.25-mile walking distance of common open space.
- d. Furniture. Site furniture shall use graffiti-resistant materials and/or coatings and skateboard deterrents.

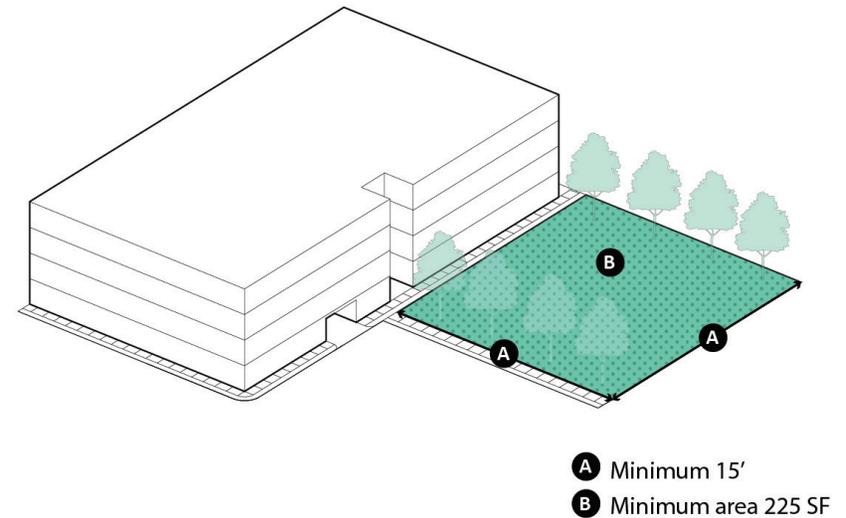


Figure 3.1. Common Open Space Size



3.3 COMMON AMENITIES

3.2.1 OUTDOOR SPACE

- a. Landscape. A minimum of 25 percent of the total common open space shall be planted area with minimum dimensions of 30 inches in length and width.
- b. Softscape. A maximum of 50 percent of the total common open space may be finished with decomposed granite, gravel, natural stone, brick or concrete unit pavers, and/or similar permeable ground surfacing. Water features, including swimming pools, may count toward this requirement.
- c. Hardscape. A maximum of 50 percent of the total common open space may be paved in standard concrete, textured and colored concrete, and/or concrete with exposed or special aggregate.
- d. Walkways. Pedestrian walkways shall connect the common open space to a public right-of-way or building entrance.
- e. Shading. Outdoor common open space shall provide a minimum percentage of shade via trees, canopies, arcades, shade structures, or arbors according to the following ratios:

Area	Percentage
Under 0.25 acre	10%
0.25–0.5 acre	15%
0.5–1.0 acre	20%
1.0 or more acres	25%

- f. Location. Outdoor common open space areas shall not be directly adjacent to arterial streets, service areas, or commercial development to ensure that they are sheltered from the noise and traffic of streets and incompatible uses, unless a minimum of 10-foot-wide, dense landscaping is provided as screening.

- a. Common amenities shared by individual units within the same development shall be provided at the ratios in Table 3.2. Major and minor amenities are described in Section 3.3.
- b. Project Phasing. For projects larger than one hundred and one units, or phased projects, each phase of development shall comply with the respective requirements in Table 3.1, unless otherwise provided through an adopted development agreement. For example, a two hundred unit project with four phases, where each phase includes fifty units, each phase shall include two major amenities, or one major amenity and two minor amenities.

Number of Units	Option 1	Option 2	Option 3
11–20	1 major amenity	1 minor amenity	--
21–30	1 major amenity	2 minor amenities	--
31–50	2 major amenities	1 major amenity, AND 2 minor amenities	--
51–100	3 major amenities	1 major amenity, AND 3 minor amenities	2 major amenities, AND 2 minor amenities
101–200	4 major amenities	2 major amenity, AND 3 minor amenities	3 major amenities, AND 2 minor amenities
201–400	5 major amenities	2 major amenities, AND 4 minor amenities	3 major amenities, AND 3 minor amenities
401+	6 major amenities	3 major amenities, AND 5 minor amenities	4 major amenities, AND 4 minor amenities

3.3.1 MAJOR AMENITIES

The following listed major amenities satisfy the common open space requirements. For projects with four hundred or fewer units, the same amenity twice will not satisfy the requirement; however, additional amenities are encouraged. For projects with more than four hundred units, the same amenity may be utilized twice to count as two major amenities.

- a. Park (minimum of 50 percent of the area shall be landscaped) with a minimum area of 1,000 square feet, plus an additional 25 square feet for every dwelling unit up to four hundred units.
- b. Clubhouse with a minimum interior area of 750 square feet, plus an additional 3 square feet per dwelling unit, and with an associated exterior patio area directly adjacent and connected to the clubhouse with a minimum area of 200 square feet, plus an additional 2 square feet per dwelling unit.
- c. Rooftop terrace with a minimum area of 750 square feet, plus an additional 5 square feet for every dwelling unit up to four hundred units.
- d. Swimming pool with a minimum dimension of 15 feet by 30 feet or equal surface area, plus an additional 1 square foot for every dwelling unit up to four hundred units.
- e. Gymnasium with a minimum area of 625 square feet, plus an additional 1 square foot for every dwelling unit up to four hundred units.
- f. Public-use easement or dedication of land for the purposes of expanding a citywide open space network such as bike path or recreation corridor, as approved by the Director.



Figure 3.2. Example Major Amenity - Playground



Figure 3.3. Example Major Amenity - Rooftop



Figure 3.4. Example Major Amenity - Pool

3.3.2 MINOR AMENITIES:

The following listed minor amenities satisfy the common open space requirements. For projects with two hundred or fewer units the same amenity twice will not satisfy the requirement. For projects with more than two hundred units, the same amenity may be utilized twice to count as two minor amenities. Additional minor amenities not listed below may be approved by the Director.

- a. Community room with a minimum area of 500 square feet.
- b. Courtyard with a minimum area of 625 square feet.
- c. One tennis, pickleball, basketball, volleyball, or other recreational court.
- d. Children's play area with a minimum area of 750 square feet with a minimum dimension of 20 feet in each direction.
 - i. Children's play areas shall be protected from any adjacent streets or parking lots with a fence or other barrier at least 4 feet in height.
 - ii. Outdoor play areas shall provide a minimum of 30 percent shading via trees or structures.
- e. Community garden with a minimum of 15 individual 5 foot by 5 foot plots.
- f. Fire pit surrounded with a minimum of 4 seats with a minimum area of 200 square feet.
- g. Dog park with a minimum dimension of 625 square feet, with at least 1 dog waste bag pole and 1 dog waste can.
- h. Barbecue and picnic area with a minimum of 2 grills with minimum seating for 8 with a minimum area of 625 square feet.



Figure 3.5. Example Minor Amenity - Garden



Figure 3.6. Example Minor Amenity - Dog Park



Figure 3.7. Example Minor Amenity - Fire Pit

3.4 PRIVATE OPEN SPACE

3.4.1 BALCONIES

- a. Private open spaces shall be contiguous to the units they serve and screened to a minimum height of 42 inches by use of walls and/or fences.
- b. Private open space provided on a balcony shall have a minimum area of 60 square feet with a minimum dimension of 6 feet in each direction. This dimension excludes areas for permanent equipment and storage.
- c. If provided, a private balcony shall be recessed a minimum of 1 foot into the building façade. The maximum projection shall be 50 percent of the balcony's full depth or 6 feet, whichever is less.
- d. The underside of projecting balconies shall be finished with building material that matches or is otherwise compatible with the building.
- e. No balconies shall overhang into the public right-of-way or sidewalk, not including the portion of the building setback behind the existing lot line.
- f. Balconies within the first 20 feet in height of the building elevation shall not overhang into the building setback to preserve the pedestrian environment. Balconies above the first 20 feet of building height may overhang the building setback.
- g. The lower 30 percent portion of balcony rails shall be finished with an opaque material that matches or is otherwise compatible with the building.

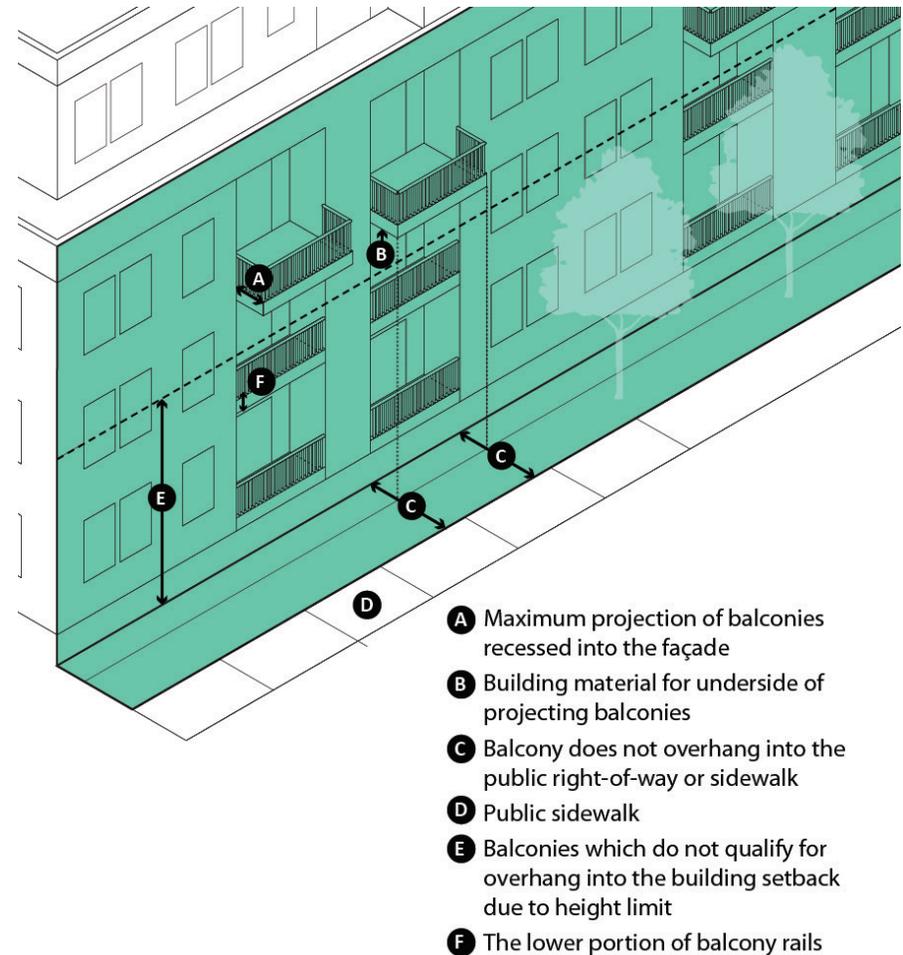


Figure 3.8. Balconies

3.4.2 PATIOS

- a. If provided, private open space located at the ground level shall have a minimum area of 100 square feet with a minimum dimension of 10 feet in each direction.
- b. Private open spaces shall be contiguous to the units they serve and screened to a minimum height of 42 inches by use of walls and/or fences.

3.4.3 ROOF TERRACES

- a. Private open space provided on a roof deck shall have a minimum area of 60 square feet with a minimum dimension of 6 feet in each direction. This dimension excludes areas for permanent equipment and storage.
- b. Private open space is contiguous to the unit it serves and features fencing of at least 42 inches.



Figure 3.9. Example Patio



Figure 3.10. Example Rooftop

3.5 LANDSCAPING

Landscaping and irrigation shall follow local and regional requirements and guidance for approved plant lists to meet the needs of local conditions, where available. For plants and planting materials addressing water retention areas as required by State of California Model Water Efficient Landscape Ordinance (MWELO) or City of Tustin requirements (Water-Efficient Landscaping).

- a. Landscaped areas shall use a three-tiered planting system consisting of ground cover, shrubs and vines, and trees. Grass shall not exceed 25 percent of the landscaped area unless it is used primarily for active recreation areas. The plant material shall be of drought-tolerant species and permanently maintained.
- b. A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor common open space, whichever is greater, shall be planted in the common open space.
- c. A minimum of 50 percent of trees planted per project shall be “shade trees” (as defined in Definitions at the end of this document).
- d. All land not covered by structures, walkways, driveways, parking, and/or softscape shall be landscaped and irrigated with an automatic irrigation system installed in accordance with the Uniform Plumbing Code.
- e. Berms, walls, and/or hedges shall be used in the required setbacks to separate parking facilities from abutting streets and shall be a minimum of 3 feet in height.



Figure 3.11. Example Landscape Outdoor Space



Figure 3.12. Example Landscaping

3.6 PRIVATELY OWNED PUBLIC OPEN SPACE

- a. **Applicability.** Privately Owned Public Open Space is required for mixed-use projects (vertical and horizontal) which have more than 10,000 square feet of commercial square footage.
- b. **Amount.** Privately Owned Public Open Space shall be provided for vertical mixed-use projects at 5 percent of the total square footage for projects which have more than 10,000 square feet of commercial square footage.
- c. **Dimensions.** A minimum area of 500 square feet with a minimum dimension of 20 feet in each direction is required to qualify as publicly accessible open space.
- d. **Access.** A maximum of 20 percent of the publicly accessible open space may be used as outdoor dining for a restaurant; a minimum of 80 percent of the publicly accessible open space shall be accessible to the general public.
- e. **Open to Sky.** At least 70 percent of the open space must be open to the sky, not including tree canopy or shade structures.
- f. **Hardscape.** A maximum of 25 percent of publicly accessible open space may be paved in standard concrete. Remaining areas shall use at least one of the following enhanced paving techniques: decomposed granite, brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate.
- g. **Landscape.** A minimum of 25 percent of publicly accessible open space shall be landscaped.
- h. **Trees.** A minimum of one 24-inch box tree shall be planted per project or for every 750 square feet of publicly accessible open space.

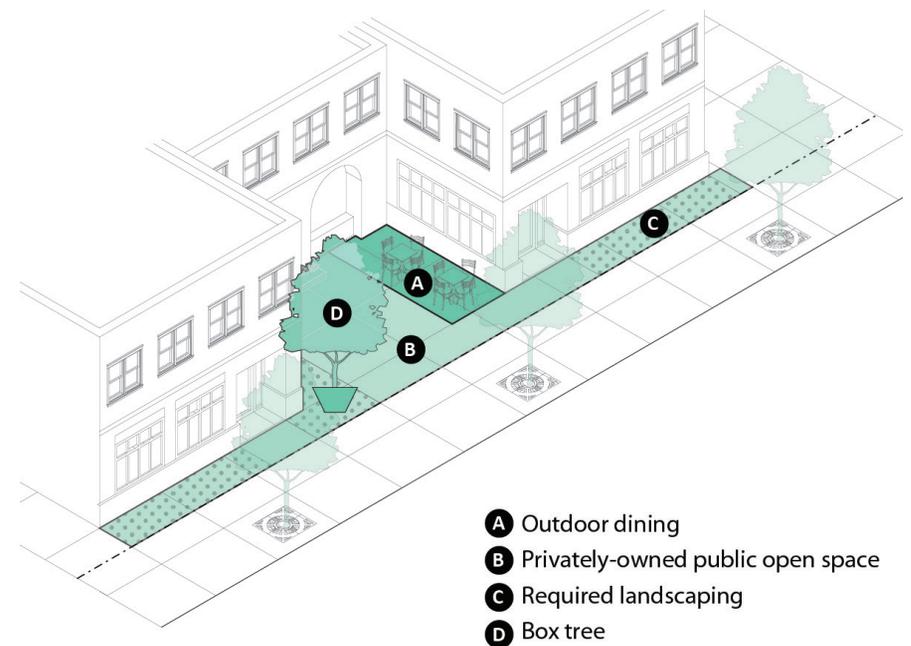


Figure 3.13. Privately Owned Public Open Space

4.0

MASS AND SCALE

4.1 Modulation

4.2 Height Modulation

4.3 Horizontal Modulation

4.4 Transitional Massing

4.5 Corner Elements

4.6 Terminating Vistas

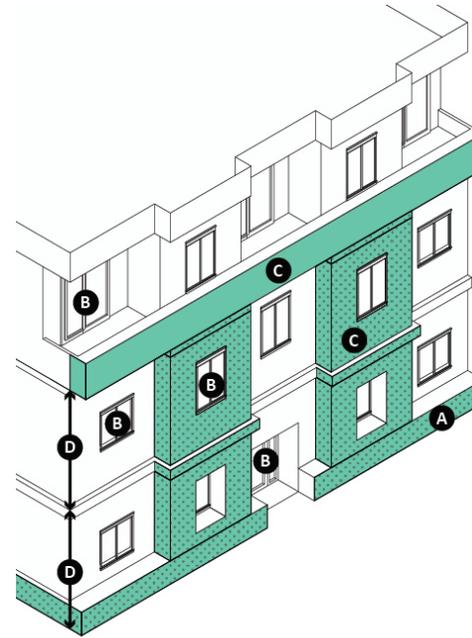
4.7 Walkway Openings



4.1 MODULATION

Each public-street-facing façade (not including alleys) for buildings three stories or greater shall achieve modulation through at least three of the following:

- a. Changes in façade materials.
- b. Change in façade textures.
- c. Change in façade colors.
- d. Changes in type, size, number, and arrangement of façade doors and windows, permitting no more than two different types, sizes, and arrangements of faced doors and windows per building.
- e. Use of functional and/or decorative horizontal façade projections or recesses at transition lines.
- f. Changes in floor-to-floor heights at the second floor or above.



- A** Changes in facade materials, textures, and colors
- B** Changes in type, size, number, and arrangement of façade doors and windows
- C** Functional and/or decorative horizontal façade projections or recesses at transition lines.
- D** Changes in floor-to-floor heights at the second floor or above.

Figure 4.1. Example Modulation Façade



Figure 4.2. Example Modulation Façade

4.2 HEIGHT MODULATION

4.2.1 THREE STORIES

Buildings three stories in height shall incorporate at least one of the following:

- a. Stepback. Minimum depth of 5 feet for at least 50 percent of all street-facing façade of the uppermost floor, measured from the primary façade plane.
- b. Roofline Variation. Variation in roof height and/or ridgeline of at least 2 feet for every 30 linear feet ; or
- c. Pitched roof variation. Use of dormers, step downs, mansard, sawtooth, butterfly, cross-gable, and/or hipped roof lines.
- d. Unit Type. Use of loft-style units on the uppermost floor with ceilings at least 3 feet taller than the floor below.
- e. Unit Count. Provide up to 75 percent the number of units on the uppermost floor as compared to the floor below, with the effect of creating a smaller building mass on the uppermost floor.

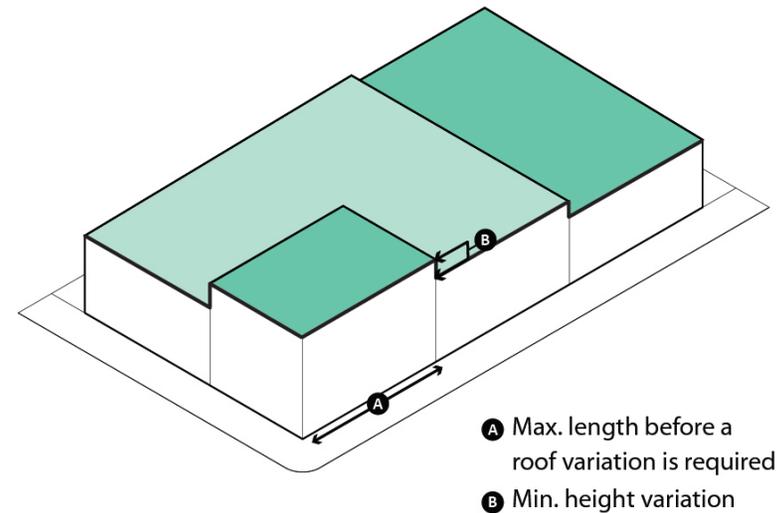


Figure 4.3. Roofline Variation

- A** Max. length before a roof variation is required
- B** Min. height variation

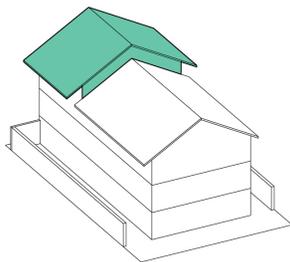


Figure 4.4. Ridgeline Change

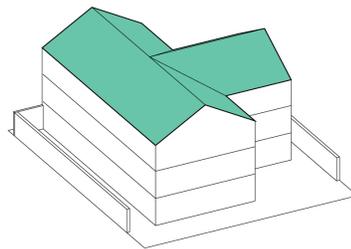


Figure 4.5. Cross Ridgeline

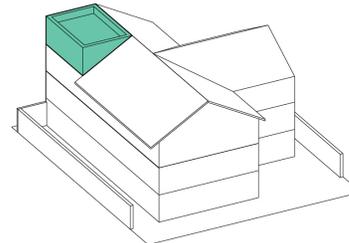


Figure 4.6. Form Change

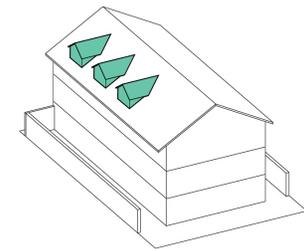


Figure 4.7. Dormers

4.2.2 FOUR TO SIX STORIES

Buildings four to six stories shall incorporate at least two of the following:

- a. Stepback. Minimum depth of 8 feet for at least 50 percent of all street-facing façade of the uppermost floor, measured from the primary façade plane.
- b. Unit Type. Use of loft-style units on the uppermost floor with ceilings at least 3 feet taller than the floor below.
- c. Unit Count. Provide up to 75 percent the number of units on the uppermost floor as compared to the floor below, with the effect of creating a smaller building mass on the uppermost floor.
- d. Rooftop Terrace. Providing a rooftop terrace (refer to Section 3.3.1, Major Amenities) on a portion of the uppermost habitable floor, creating a smaller building mass on the uppermost floor.
- e. Roofline Variation. Variation in roof height and/or ridgeline of at least 3 feet for every 50 linear feet.
- f. Pitched Roofs. Use of dormers, step downs, mansard, sawtooth, butterfly, cross-gable, and/or hipped roof lines.

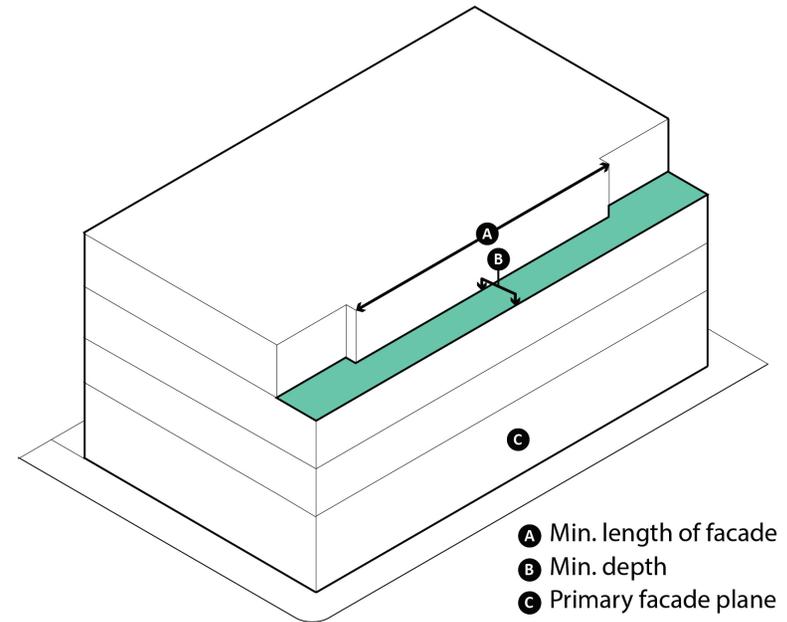


Figure 4.8. Smaller Building Mass on the Uppermost Floor

4.2.3 SEVEN STORIES OR TALLER

Buildings seven stories or greater shall incorporate at least three of the following:

- a. Stepback. Minimum depth of 10 feet for at least 50 percent of all street-facing façade of the seventh floor and above, measured from the primary façade plane.
- b. Unit Type. Use of loft-style units on the uppermost floor with ceilings at least 3 feet taller than the floor below.
- c. Unit Count. Provide up to 75 percent the number of units on the uppermost floor as compared to the floor below, with the effect of creating a smaller building mass on the uppermost floor.
- d. Rooftop Terrace. Providing a rooftop terrace (refer to Section 3.3.1, Major Amenities) on a portion of the uppermost habitable floor, creating a smaller building mass on the uppermost floor.
- e. Articulated rooftops using at least two of the following techniques:
 - i. An additional stepback of 10 feet for the entire façade for the uppermost two floors;
 - ii. An uppermost floor with a maximum area of 50 percent of the ground floor, with an associated rooftop terrace;
 - iii. A crown composed of a contrasting color and material;
 - iv. Use of cornices;
 - v. Use of a spire;
 - vi. Use of a dome.

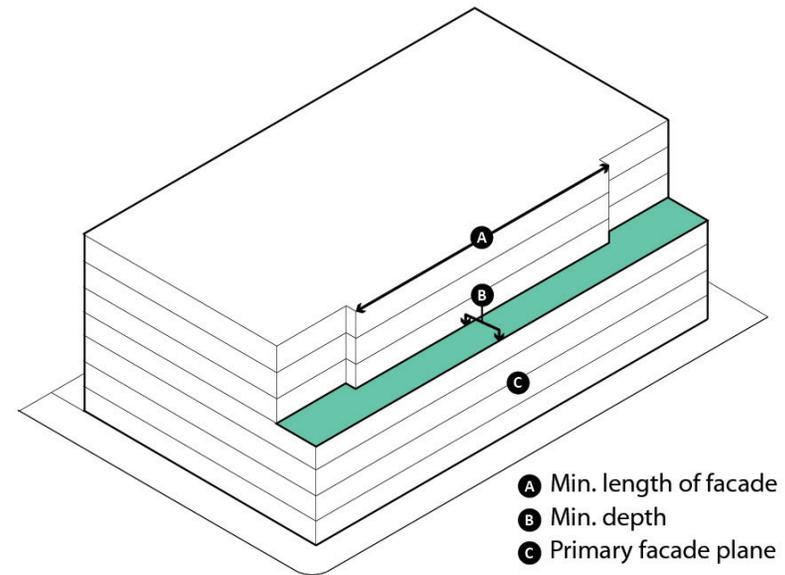


Figure 4.9. Stepback

4.2.4 HEIGHT AVERAGING

- a. For projects with buildings greater than forty feet in height, up to 30 percent of the building footplate area may be up to 12 feet taller than the maximum height allowed, provided an equal amount of building footprint area is at least 12 feet shorter than the maximum allowed height. For projects with multiple buildings, up to 30 percent of the buildings may be up to 12 feet taller than the maximum height allowed, provided an equal number of buildings are at least 12 feet shorter than the maximum allowed height.
 - i. Height averaging shall not be permitted when it increases the height of a structure that is adjacent to a property that contains a sensitive structure or use, unless the height that is above the maximum is distanced from the sensitive structure or use by a ratio of 1.5 times the proposed height. Sensitive uses shall include a historic structure, single family residence, single-family zone, solar panels, or open space amenity.
 - ii. The use of height averaging to lower a structure's height is encouraged when it is adjacent to sensitive structures or uses.

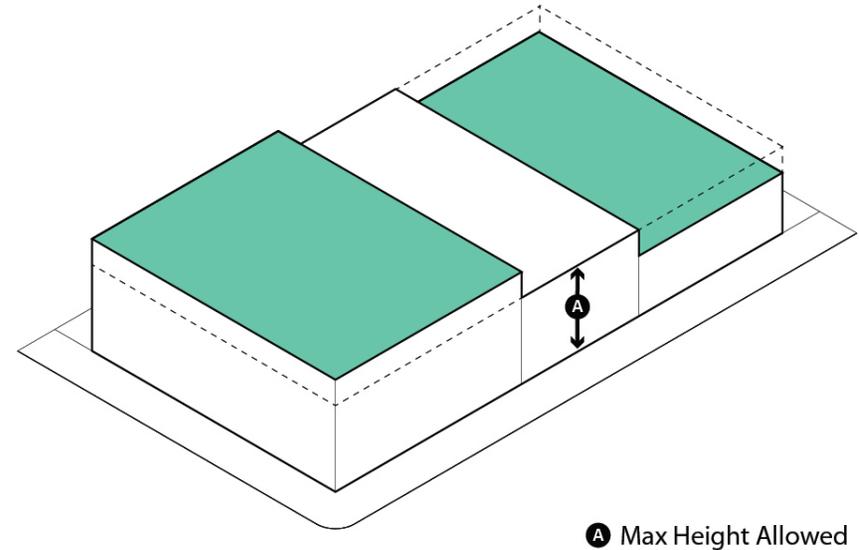


Figure 4.10. Height Averaging

4.3 HORIZONTAL MODULATION

- a. For every one hundred feet of street-facing façade, or fraction thereof, a minor modulation shall be provided that is:
 - i. a minimum of 3 feet in depth from the primary façade plane,
 - ii. a minimum of 10 feet in length (or height),
 - iii. a minimum of 25 feet in height (or length).
- b. Façade area used to meet this standard may be recessed behind, or project out from, the primary façade plane and may be in one continuous section or a combination of sections across the façade. A minor modulation may be sited at the corner of a building to meet the requirements of Section 4.2, Corner Elements.
- c. For every two hundred fifty feet of street-facing façade, at least one major modulation shall be provided, in addition to the minor modulation required. The major modulation shall be at least 6 feet in depth and 25 feet in length and extend from grade to highest story.

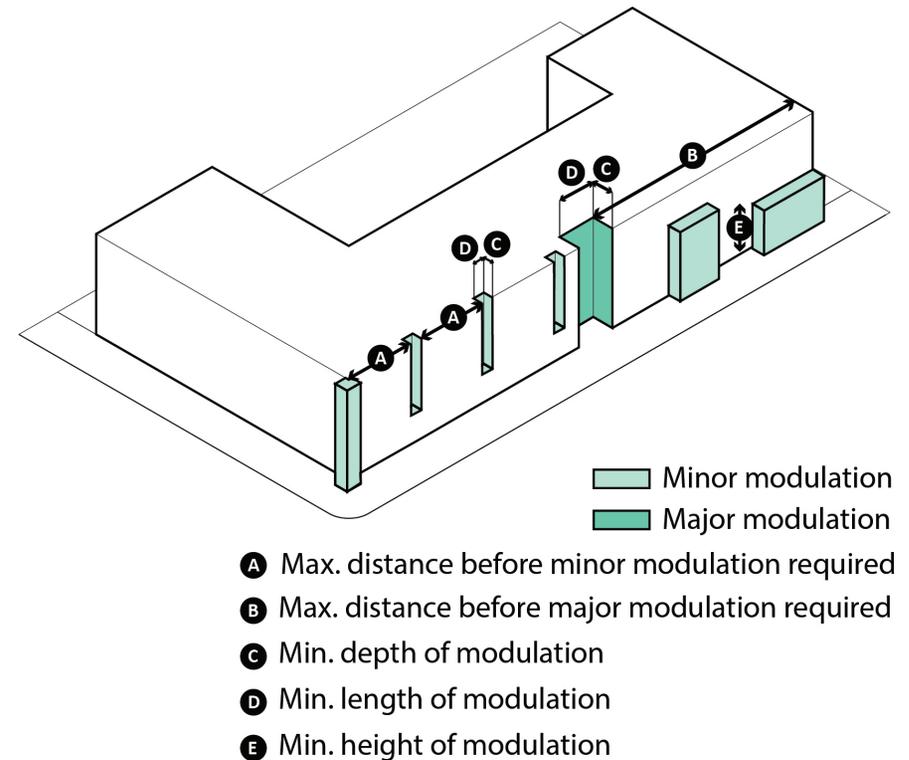
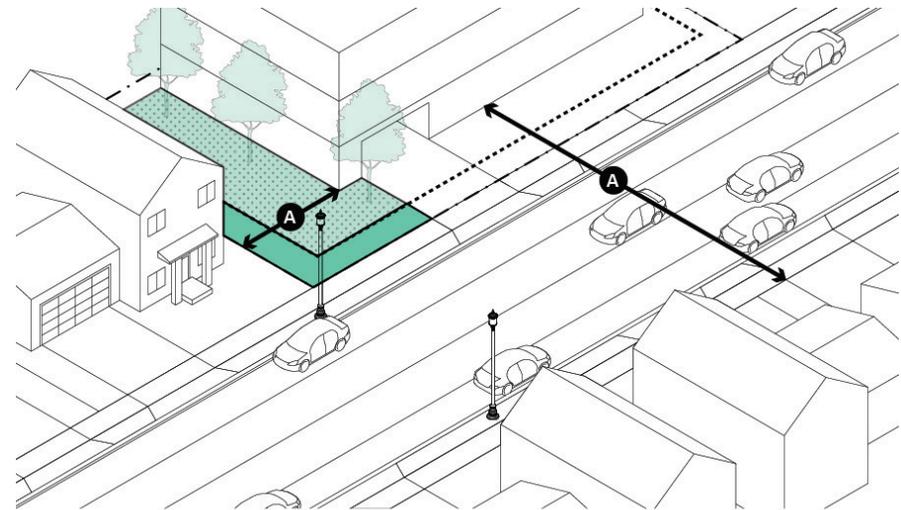


Figure 4.11. Horizontal Modulation

4.4 TRANSITIONAL MASSING

The standards below apply to all buildings where the project site abuts or are located within one hundred fifty feet of single-family residential neighborhoods and/or historic structures.

- a. **Transitional Setbacks.** Within fifty feet of an adjacent single-family zone or a designated historic structure, the front setback of a new multi-family or mixed-used development shall approximate the existing front setbacks of the adjacent development, deviating up to 5 feet.
- b. **Transitional Height.** Within fifty feet of an adjacent single-family zone or a designated historic structure, the height of a new multi-family or mixed-used development shall feature a maximum height of 35 feet.



- A** Distance between project site and low-rise residential neighborhoods
- Open space outside of setback

Figure 4.12. Adjacency to Single-Family Structures

4.5 CORNER ELEMENTS

- a. Buildings at an intersection where all streets feature a right-of-way one hundred feet or less shall incorporate at least three of the following corner elements:
 - i. Corner feature, such as a spire, tower, or dome, with a greater height than adjacent building facades by a minimum of 10 feet and a horizontal area a minimum of 20 feet by 20 feet.
 - ii. Corner feature with a minimum 5-foot recess or projection from the primary façade for a minimum of 20 feet by 20 feet and extending from grade to the building height.
 - iii. Unique corner features, such as corner entry oriented diagonal to the intersection, wrap-around balconies, or terraces above the ground floor.
 - iv. Diagonal or curved walls at the intersection.
 - v. Color and material variation from the primary façade with an area at least of 20 feet by 20 feet.
 - vi. Corner plaza or gathering area with distinct paving or landscaping that serve as gathering spaces or decorative entry features for monument signage or public art.

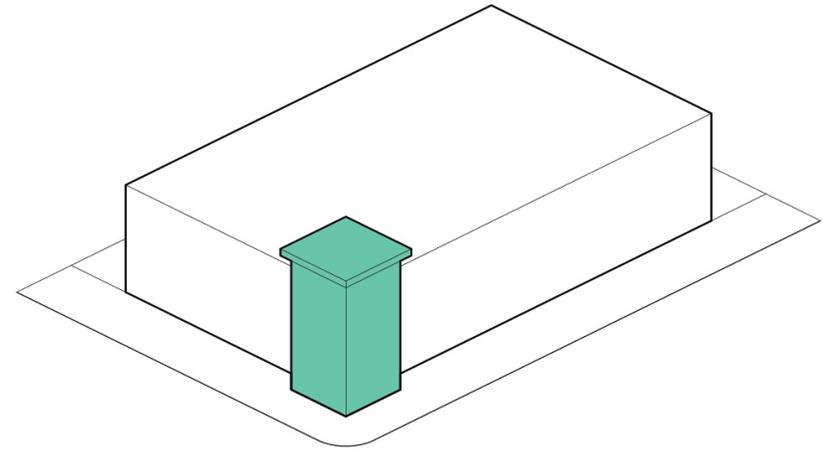


Figure 4.13. Corner Element

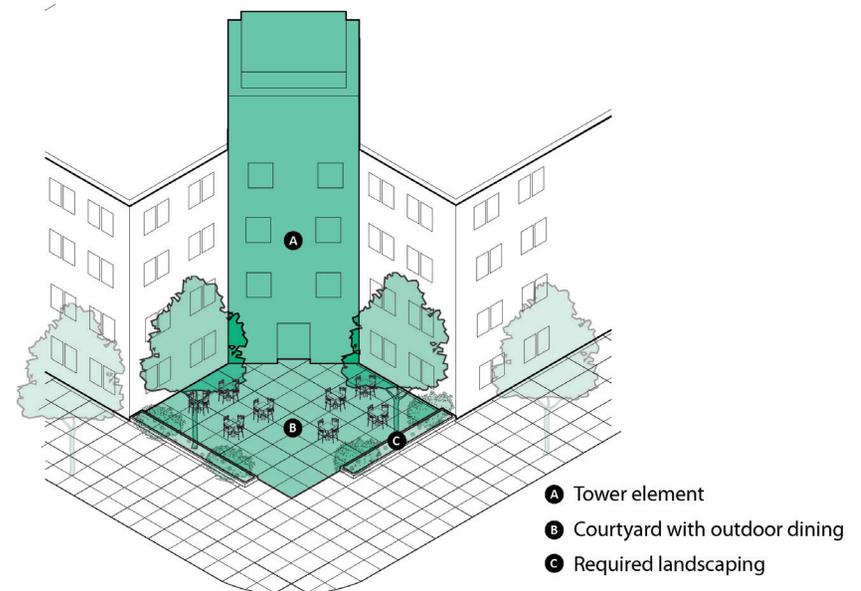


Figure 4.14. Corner Element with Plaza

- b. Buildings located at an intersection where at least one street has a right-of-way greater than one hundred feet shall incorporate at least two of the following corner elements:
 - i. Corner feature, such as a spire, tower, or dome, with a greater height than adjacent building facades by a minimum of 12 feet and a horizontal area a minimum of 25 feet by 25 feet.
 - ii. Corner feature with a minimum 6-foot recess or projection from the primary façade for a minimum of 25 feet by 25 feet and extending from grade to the building height.
 - iii. Diagonal or curved walls at the intersection.
 - iv. Color and material variation from the primary façade with an area at least 25 feet by 25 feet.



Figure 4.15. Example Corner Element



Figure 4.16. Example Corner Element

4.6 TERMINATING VISTAS

Buildings at least four stories or taller and located at the visual termination of a street shall integrate at least two of the following features centered on the terminating street centerline.

- a. Massing element with a greater height than adjacent building facades by a minimum of 10 feet for a minimum of 20 linear feet.
- b. Massing element with a minimum 6-foot recess or projection from the primary façade for a minimum of 20 linear feet and extending from grade to the building height.
- c. Primary building entry and enhanced canopies or awnings.
- d. Color and material variation from the primary façade with a minimum of 20 linear feet and extending from grade to the building height.
- e. Open space or gathering areas with distinct paving or landscaping.

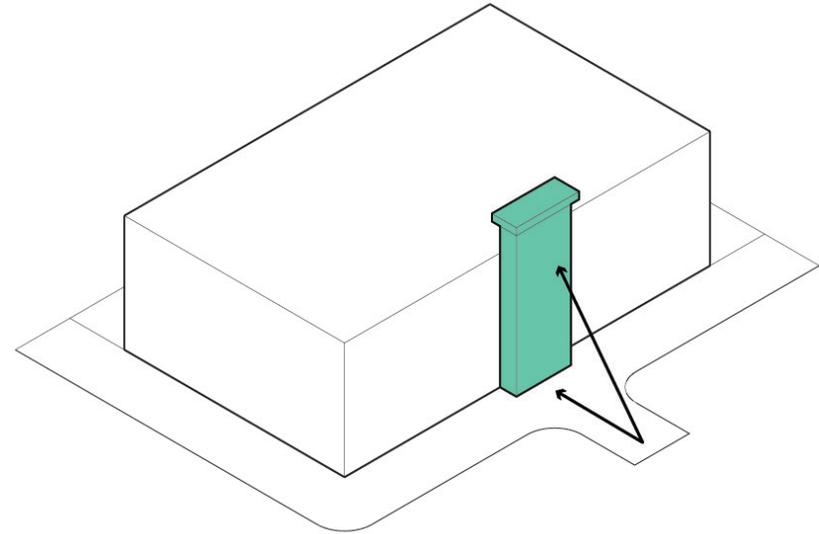


Figure 4.17. Terminating Vista

4.7 WALKWAY OPENINGS

If walkway openings through buildings are provided, connecting sidewalk with interior courts and/or open spaces, they must conform to the following standards:

- a. For buildings three stories or less in height, the walkway opening must have at least 10 feet of height clearance from ground to ceiling.
- b. For buildings four or more stories, the height of a covered walkway must be a minimum of 12 feet.
- c. A pedestrian walkway may be located above a ground-level walkway opening, forming an archway or bridge, provided such features are at least 12 feet or higher above ground level. These features shall be a maximum of 6 feet wide.

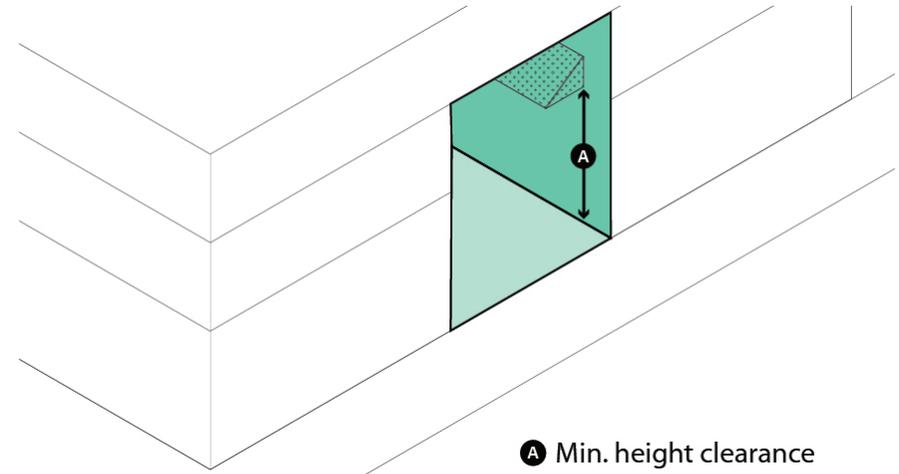


Figure 4.18. Walkway Opening

5.0

MATERIALS AND DETAILS

5.1 Materials

5.2 Color and Texture

5.3 Doors and Windows



5.1 MATERIALS

All materials for new projects and façade remodels shall conform to the following standards:

- a. All building façades, including alley-facing elevations, shall be constructed with durable materials, such as natural stone, brick, siding, stucco, precast concrete, and factory-finished metal panels (heavy gauge only), or similar materials that can withstand significant deterioration, decay, or discoloring due to wear or weathering. Materials that are short lived or insubstantial, such as unfinished wood for exterior use, shall not be permitted.
- b. Material, texture, and color variations shall distinguish a building's base, and/or middle, and/or top.
 - i. If a distinct building base is provided (extending from at least the ground to the ceiling of the ground floor), the building's middle and top may feature the same materials and textures.
 - ii. If a distinct building top is provided (extending up from the floorplate of the uppermost habitable floor), the building's base and middle may feature the same materials and textures.
 - iii. No more than 50 percent of a building's façades may feature materials, colors, and textures which extend uninterrupted from the ground to the roofline.
- c. Changes in material or color shall occur at plane breaks, preferably inside corners of intersecting walls, or at step-backs, or exterior architectural features that break up the wall plane, such as columns and should be visually integral to the structure of the building.

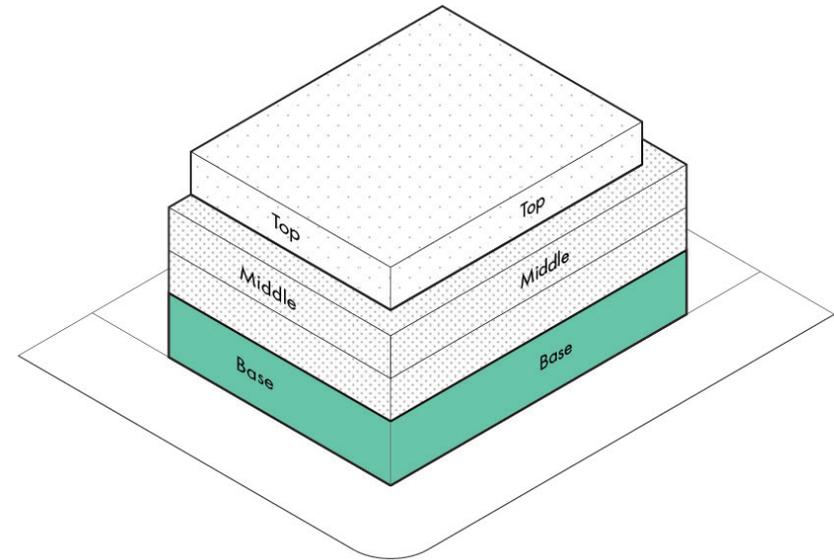


Figure 5.1. Building Materials



Figure 5.2. Example Material Variation

- d. **Material Variation.** All street-facing façade(s) of buildings over thirty feet in height shall feature a contrasting material finish applied to at least 60 percent of either the ground level or the topmost level façade surface (for example stone veneer versus stucco). This requirement may also be met with an equivalent numerical balance applied to both ground level and uppermost level facades (for example, half the ground floor and half the upper floor). For the purposes of this requirement, window glazing is considered a contrasting material.
- e. **Expansion Joints.** If utilized on stucco facades, expansion joints shall reinforce the grid pattern created by window and door openings by aligning with:
- i. Window and/or door jambs, sills, and/or headers; or
 - ii. The centerlines of windows and/or doors; or
 - iii. Wall breaks such as recesses and/or soffits created by balcony openings.

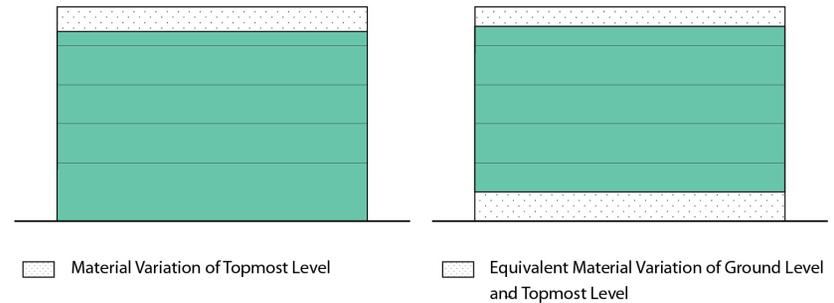


Figure 5.3. Material Variation

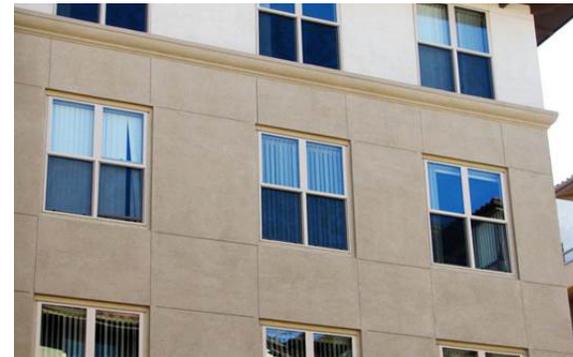


Figure 5.4. Example Expansion Joint Alignment

5.2 COLOR AND TEXTURE

All new development and façade remodels that require building permits shall comply with the following design standards:

- a. Color Schemes – Single Structure
 - i. Structures shall have at least 2 primary colors and 2 accent colors, in addition to roof color.
 - ii. Structures shall have a maximum of 4 primary colors and 4 accent colors, in addition to roof color.
 - iii. Primary colors shall be utilized on a building's facades.
 - iv. Accent colors shall be reserved for window and door frames, recesses and projections, expansion joints, plane brakes, material breaks, and other decorative trim and exterior architectural features.
- b. Color Schemes – Multiple Buildings
 - i. Residential developments with between three and nine habitable buildings shall provide a minimum of 2 distinct color schemes. A single color scheme shall be dedicated to no less than 30 percent of all residential buildings.
 - ii. Residential developments with ten or more habitable buildings shall provide a minimum of 3 distinct color schemes. A single color scheme shall be dedicated to no less than 30 percent of all residential buildings.

- c. All building façades facing a street or public open space shall be articulated. Façade articulation shall be achieved through at least four of the following architectural elements:
 - i. Minimum of 2 window or door types and/or size variation.
 - ii. Window details such as moldings, decorative trim, grille/grid patterns, and wood frames.
 - iii. Balconies and/or porches.
 - iv. Decorative light fixtures.
 - v. Decorative attic/gable vent.
 - vi. Decorative moldings and/or cornices.
 - vii. Trellis and/or arbor structures.

- d. Blank Façades. A blank façade is a portion of a façade without a window, balcony, or doorways 30 feet in any direction. Where a blank façade is unavoidable, at least one of the following design treatments shall be used to create visual interest and increase pedestrian safety, comfort, and interest:
 - i. Architectural treatments (such as trellises, screens, or changes in materials) that cover at least 50 percent of the blank façades surface.
 - ii. Vertical landscaping treatments that cover at least 50 percent of the blank façade surface.

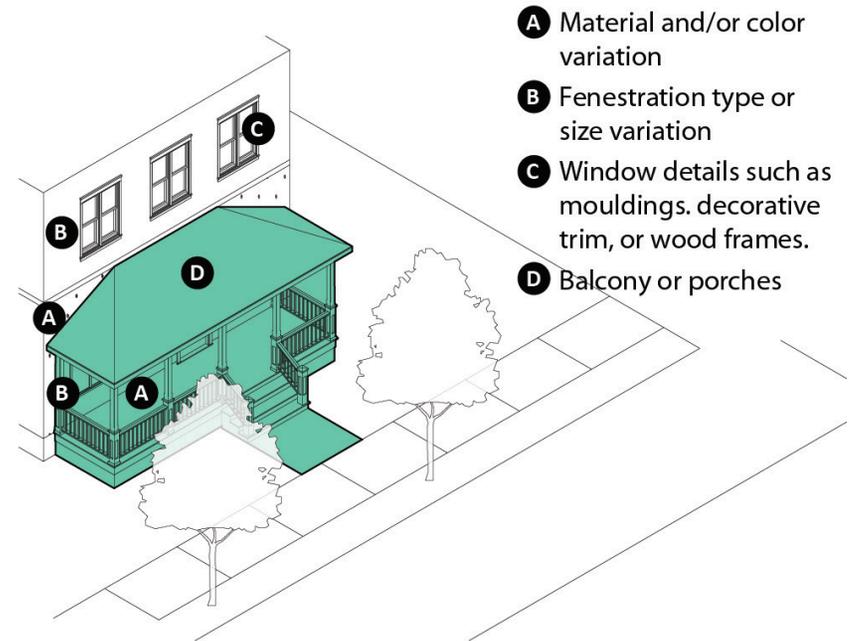


Figure 5.5. Color and Texture



Figure 5.6. Blank Façades Treatment

5.3 DOORS AND WINDOWS

- a. All windows shall either be recessed at least 2 inches from the plane of the surrounding exterior wall or shall have a trim or windowsill at least 1 inch in depth, and which is of contrasting color to the primary color of the building.
 - i. When trim is used, a minimum of 1 inch by 4 inch trim is required.
 - ii. With stucco walls, a minimum of 1 inch deep, raised relief around the window is required.
 - iii. With brick, a minimum 2-inch-wide brickmold is required around windows.
- b. All windows facing a public street shall feature at least two of the following treatments:
 - i. Variation in window types and/or sizes
 - ii. Mullion patterning
 - iii. Decorative metal screens
 - iv. Moldings
 - v. Wood frames
 - vi. Decorative trim
 - vii. Shutters

6.0

UTILITIES, SERVICES, LIGHTING, AND FENCES

6.1 Mailboxes

6.2 Refuse Storage

6.3 Ground-Mounted Utility Equipment

6.4 Rooftop Equipment

6.5 Outdoor Lighting

6.6 Fences

6.1 MAILBOXES

- a. Mailboxes shall be in a highly visible location within one block of the residential units.
- b. In developments with twenty-six or more units, a trash receptacle shall be located adjacent to the mailboxes.
- c. Mailboxes shall be finished using materials consistent with the building they serve.



Figure 6.1. Example Mailboxes



Figure 6.2. Example Mailboxes

6.2 REFUSE STORAGE

- a. All refuse shall be deposited in refuse containers in the refuse areas, which shall be screened on at least three sides by a 5-foot fence or block wall and a solid gate not less than 5 feet in height, and feature a solid gate or door. Such a refuse area may either be located outside or inside a building.
- b. The size of refuse enclosures or trash rooms shall be built per the latest Building Code standards and shall provide a will-serve letter from the refuse service in contract with the City.
- c. Storage areas that are visible from the upper stories or adjacent structures shall have an opaque or semi-opaque horizontal cover/screen to mitigate unsightly views. The horizontal screen/cover shall be integrated into the enclosure design.
- d. Storage areas shall not be closer than 20 feet from doors or operable windows of adjacent structures.
- e. Refuse storage enclosures shall be located so that the doors do not interfere or block landscaping or pedestrian and vehicle circulation when open.



Figure 6.3. Example Refuse Storage



Figure 6.4. Example Refuse Storage

6.3 GROUND-MOUNTED UTILITY EQUIPMENT

- a. The following are defined as utility equipment and shall be screened from view:
 - i. Electric and water utility meters and cabinets,
 - ii. Heating/ventilation/cooling equipment,
 - iii. Irrigation and pool pumps and cabinets,
 - iv. Other mechanical equipment and cabinets.
- b. All utility equipment shall be entirely screened from the public view through at least one of the following standards:
 - i. Landscaping; or
 - ii. Exterior architectural features or enclosures that utilize the same materials, colors, and lighting fixtures that are a minimum of 3 feet in height; or
 - iii. Fences that use durable and weather-resistant material and are a minimum of 4 feet in height, and do not interrupt the line-of-sight of drivers entering or exiting the site. Chain link, vinyl, and slats are not allowed.
- c. No utilities shall protrude into the public right-of-way, including the portion dedicated as sidewalk and located behind the lot line.
- d. Electrical transformers shall be located so that access is achieved from the alley, where feasible. If located adjacent to a public sidewalk, they shall be screened and visually integrated into the building façade.



Figure 6.5. Example Utility Screening



Figure 6.6. Example Utility Screening

6.4 ROOFTOP EQUIPMENT

- a. Rooftop elements, including roof access, mechanical equipment, air conditioning units, and other features needed for the function of the building, shall be entirely screened from the public view by meeting the following requirements. Mechanical equipment less than 2 feet in height, solar panels, wind generators, or green roof features are exempt from these requirements.
 - i. Roof-mounted equipment and screening of roof-mounted equipment shall be stepped back from top of parapet a minimum of 10 feet from the parapet or roof edge.
 - ii. Roof-mounted equipment greater in height than the parapet wall shall be screened to a height equal to the height of the equipment.
 - iii. Screening materials shall match the building materials.



Figure 6.7. Example Rooftop Equipment Screening



Figure 6.8. Example Rooftop Equipment Screening

6.5 OUTDOOR LIGHTING

All projects shall demonstrate compliance with the Tustin Security Ordinance and include a photometrics study demonstrating such. Additionally, the following standards apply.

- a. Pedestrian-scaled lighting, with a maximum height of 10 feet, shall be located along all walkways within the development. Site lighting may be located on buildings to illuminate site areas not covered by individual light standards.
- b. Outside and parking-lot lighting shall not exceed 0.1 foot-candle at residential lot lines.



Figure 6.9. Example Pedestrian Lighting



Figure 6.10. Example Outdoor Lighting

6.6 FENCES

- a. Walls and fences shall be constructed with durable materials that can withstand significant deterioration, decay, or discoloring due to wear or weathering. Materials such as unfinished wood or vinyl are not permitted fencing materials.
- b. The design of walls and fences, as well as the materials and colors used, shall be consistent with the overall development's design.
- c. Concrete capstones shall be used on stucco walls to help prevent water damage from rainfall and moisture.
- d. All wood fences shall be painted to facilitate the quick removal of graffiti.



Figure 6.11. Example Fencing



Figure 6.12. Example Fencing

7.0 DEFINITIONS



7.1 DEFINITIONS

Alley. A public or private way less than thirty (30) feet in width which affords a secondary point of access to abutting property. (Ord. No. 157, Sec. 11.2)

Arcade. A roofed passageway or lane. A series of arches supported by columns, piers, or pillars, either freestanding or attached to a wall to form a gallery.

Articulation. The process of stepping and recessing external walls of a building in plan and in section. This process essentially creates more corners and edges to a building, which reduces the potential for the presentation of large expanses of blank walls.

Awning. An architectural fabric or metal projection that provides weather protection, building identity, or decoration, and is wholly supported by the building to which it is attached. An awning consists of a lightweight frame structure over which a cover is attached.

Auto Court. A courtyard generally reserved for vehicular access which connects to multiple residences via a common driveway fronted with garages.

Block. All property fronting upon one side of a street between intersecting and intercepting streets, or between a street and a railroad right-of-way, waterway, dead-end street or city boundary. An intercepting street shall determine only the boundary of the block on the side of a street which it intercepts. (Ord. No. 157, Sec. 11.5)

Building. Any structure having a roof supported by columns or by walls and designed for the shelter or housing of any person, animal or chattel. (Ord. No. 157, Sec. 11.7)

Bay. Any division of a building between vertical lines or planes.

Board and Batten. A form of sheathing for wood frame buildings consisting of wide boards, usually placed vertically, whose joints are covered by narrow strips of wood over joints or cracks.

Building Mass (Massing). Mass refers to the general shape and form as well as size of a building.

Building Site. A lot or parcel of land, in single or joint ownership, and occupied or to be occupied by a main building and accessory buildings, or by a dwelling group and its accessory building, together with such open spaces as are required by the terms of this Chapter and having its principal frontage on a street, road, highway or waterway. (Ord. No. 157, Sec. 11.10)

Butterfly Roof. A roof with an inversion of a standard roof form, with two roof surfaces sloping down from opposing edges toward the middle of the roof.

Cladding. Building cladding is the application of one material over another to add an extra skin or layer to the building. Commonly used exterior wall cladding materials include brick, vinyl, wood, stone, fiber cements, metal, concrete, and stucco.

Clerestory Windows. Vertical windows placed high on a wall, often above eye level.

Color, Accent. Colors utilized on window and door frames, recesses and projections, expansion joints, plane brakes, material breaks, as well as other decorative trim and exterior architectural features.

Color, Primary. Colors utilized on the wall planes of a building's facade, covering most of a building's surface area.

Color, Roof. The color of a building's roof.

Commercial Use. A non-residential use such as retail, service, automotive, medical, food service, hospitality, and office uses.

Common Court. A courtyard which provides both vehicular and pedestrian access to multiple residences. Common courts are differentiated via enhanced paving and a raised elevation as compared to adjacent roadways.

Corner Element. A distinct architectural treatment, expressed through a change in form, mass, decoration, or any combination thereof, located on the corner of a building.

Cornice. A horizontal moulding projecting along the top of a wall, building, etc.

Corrugated Panels. Panels shaped into folds of parallel and alternating ridges and valleys, either to provide additional strength, or to vary the surface pattern.

Courtyard. An extent of open ground partially or completely enclosed by walls or buildings.

Curb Cut. The elimination of a street curb to enable increased access to crosswalks/sidewalks, entry driveways or parking lots.

Detail. An element of a building such as trim, moldings, other ornamentation or decorative features.

Dome. A rounded roof or vault, usually built in the form of a hemisphere.

Dormer. A structure projecting from a sloping roof, usually housing a vertical window in a small gable or a ventilating louver.

Driveway. A paved area of a lot located between the public right-of-way and the garage, carport, or required parking space designed and intended as an access way between a private or public road and the garage, carport, or required parking space. (Ord. No. 1240, Sec. 2, 8-6-01)

Driveway, Primary. A driveway providing both ingress and egress from a property.

Driveway, Secondary. A driveway providing either ingress or egress from a property.

Dwelling. A building or portion thereof designed for residential use. (Ord. No. 157, Sec. 11.15; Ord. No. 1225, Sec. IV, 1-17-00; Ord. No. 1429, Sec. II.70, 5-21-13)

Eave. The projecting lower edge of a roof.

Enhanced Paving. Pavement which is differentiated from the surrounding asphalt or concrete. Methods include patterned and/or colored pavers, brick, decorative colored concrete, stamped concrete, or permeable materials.

Elevation. An orthographic view of the vertical features of a building (front, rear, side, interior elevation).

Exterior Architectural Feature. The architectural elements embodying style, design, general arrangement and components of all of the outer surfaces of an improvement, including, but not limited to, the kind, color and texture of the building materials and the type and style of all windows, doors, lights, signs and other fixtures appurtenant to such improvement. (Ord. No. 1001, Sec. 3, 6-20-88)

Façade. The entire exterior side of a building; especially the architectural front, sometimes distinguished from the other sides by elaboration of architectural or ornamental details.

Faux. A simulation or false representation of something else, as in faux wood or stone.

Fenestration. The stylistic arrangement of windows in a building.

Frontage or Fronting. The portion of a parcel which abuts a street right-of-way. (Ord. No. 1429, Sec. II.70, 5-21-13)

Focal Point. A building, object, or natural element in a street- scene that stands out and serves as a point of focus, catching and holding the viewer's attention.

Gable Roof. A roof having a gable at one or both ends; a roof sloping downward in two opposite directions from a central ridge, forming a gable at each end.

Garage. A detached, accessory building, or a portion of a main building on the same lot as a dwelling, used primarily for the housing of vehicles of the occupant of the dwelling, having a roof, and enclosed on at least three (3) sides, with the fourth side being a lockable door, with not less than ten feet by twenty feet (10' × 20') clear and unobstructed inside dimensions, and which shall be permanently maintained as a parking accommodation. (Ord. No. 733, Sec. 7)

Glass Blocks. Thick blocks of glass, typically hollow, used as a building material.

Glass, Opaque. Glass that blocks the passage of light.

Hardscape. The non-living, structural elements of a landscape, such as patios, walkways, driveways, and decks.

High-Quality Materials. Treated wood, stone, brick, stucco, fiber cement or other cementitious material, or composite wood or stone, with no unfinished edges.

Hipped Roof. A roof that slopes upward from all four sides of a building, requiring a hip rafter at each corner.

Human Scale. Architectural features and elements that are the size of human beings or smaller and are accessible to human beings: such as doorways, windows, door handles, and other details.

Lot Line. A line separating the frontage from a street; the side from a street or adjoining property; the rear from an alley or street, or adjoining property. (Ord. No. 157, Sec. 11.31)

Maintenance. The work of keeping something in proper condition; upkeep.

Mansard Roof. A multi-sided gambrel-style hip roof characterized by two slopes on each of its sides, with the lower slope at a steeper angle than the upper, and often punctured by dormer windows.

Mixed-Use. A project allows for horizontal and/or vertical combination of residential and nonresidential buildings in a given area.

Modulation, Major. An articulation which extends from the ground level to roofline of a building.

Modulation, Minor. An articulation which does not extend from the ground level to the roofline.

Mullion. A dividing piece between the lights of windows, usually taking on the characteristics of the style of the building.

Muntin. A secondary framing member to hold panes in a window, window wall, or glazed door; an intermediate vertical member that divides panels of a door.

Outdoor Activity Area. An area (not including primary circulation space) located outside of a building or in a courtyard that is provided for the use or convenience of patrons of a commercial establishment, including but not limited to sitting, eating, drinking, dancing, and food service activities.

Outdoor Dining. The extension of services of an existing restaurant or eating/drinking establishment to be provided at tables placed on the public sidewalk or private common area adjacent to and within the confines of any frontage of that portion of the building where the restaurant use is situated.

Parapet. A retaining wall at the edge of a roof, porch, or terrace.

Parking. To put or leave (a vehicle) for a time in a certain location.

Pedestrian Paseos. Landscaped passageways that serve as midblock crossings and may additionally provide access to interior courtyards.

Roof Plane. The surface of the roof. It could be flat, pitched, or on an angle. It is also called the field of the roof.

Rooflines. Various forms to a roof, such as pitch, ridge, hip, etc., often at different angles.

Sawtooth Roof. A roof comprising a series of ridges with dual pitches either side, with the steeper surfaces generally designed to admit daylight.

Setback. The recessing of the upper part of the façade due to the smaller area of the upper floors, or the distance a building is recessed from the lot line, curb of the street, or the edge of the sidewalk.

Shade Trees. A 24-inch box tree or larger, with a minimum 15-foot canopy at maturity.

Shingle. A small thin piece of building material often with one end thicker than the other for laying in overlapping rows as a covering for the roof or sides of a building.

Shutter. Each of a pair of hinged panels, often louvered, fixed inside or outside a window that can be closed for security or privacy or to keep out light.

Sidewalk. A paved walkway along the side of a street.

Sill. The horizontal exterior member at the bottom of a window or door opening, usually sloped away from the bottom of the window or door for drainage of water and overhanging the wall below.

Softscape. The living elements of a landscape, primarily plants such as trees, shrubs, flowers, grass, groundcover, and mulch.

Spire. A tall, pointed structure on top of a building.

Street. A public thoroughfare accepted by the City of Tustin, which affords principal access to abutting property, including avenue, place, way, drive, lane, boulevard, highway, road, and any other thoroughfare except an alley as defined herein. (Ord. No. 157, Sec. 11.44)

Street Wall. The portion of a building facing a street, formed when multiple buildings line up on a street with similar setbacks.

Structure. Anything constructed or erected, the use of which requires location on or in the ground, or attachment to something having location on the ground, excluding in-ground and above-ground swimming pools, driveways, flatwork for paved, uncovered patios or surface parking spaces. (Ord. No. 157, Sec. 11.46; Ord. No. 1524, Sec. 65, 8-16-22)

Structural Alterations. Any change in the supporting members of a structure, such as bearing walls, columns, beams or girders. (Ord. No. 157, Sec. 11.47)

Terminating vista. In urban design, a terminating vista is a building or monument that stands at the end or in the middle of a road, so that when one is looking up the street.

Unit. Any building designed or used for the shelter or housing of one (1) or more persons, and shall include apartments. (Ord. No. 790, Sec. 4, 2-20-79)

Wall Plane. A continuous walled surface, which generally forms the building's primary facade and, when facing a street, the street-wall. Exterior architectural features may either project out from the wall plane or recess in from the wall plane.

Yard. An open space other than a court on the same lot with a building, which open space is unoccupied and unobstructed from the ground upward, except as otherwise permitted in Section 9271. (Ord. No. 157, Sec. 11.51)